

SMOKY LAKE COUNTY

AGENDA: **MUNICIPAL PLANNING COMMISSION** to be held on
Thursday, June 13, 2024, at 11:00 a.m.

In County Council Chambers, or virtually, via Telus Business Connect Platform:

<https://video.businessconnect.telus.com/join/664110805>

or, by phone: 1-780-666-2345, Meeting ID: 664110805

1. CALL TO ORDER

2. AGENDA

3. MINUTES

3.1 Adopt Minutes of April 25, 2024.

4. REQUEST FOR DECISION

4.1 **Development Permit(s) to be Considered:**

4.1.1 DP-018-24: Natural Resource Extraction/Processing Facility (Sand & Gravel)

5. ISSUES FOR INFORMATION

5.1 Nil.

6. CORRESPONDENCE

6.1 Nil.

7. DELEGATION(S)

7.1 Nil.

8. ADJOURNMENT

SMOKY LAKE COUNTY

Minutes of the **Municipal Planning Commission** meeting from **Thursday, April 25, 2024**, held in Smoky Lake County Council Chambers as well as Virtually online.

The meeting was Called to Order at 11:02 a.m. by the Chairperson, Dominique Cere, in the presence of the following persons:

Attendance:

Dan Gawalko	Councillor Div. 1	Present in Chambers
Linda Fenerty, Deputy Reeve	Councillor Div. 2	Present in Chambers
Dominique Cere	Councillor Div. 3	Present in Chambers
Lorne Halisky	Councillor Div. 4	Present in Chambers
Jered Serben, Reeve	Councillor Div. 5	Present in Chambers
Lydia Cielin	Interim CAO	Present in Chambers
Jordan Ruegg	P&D Manager	Present Virtually
Patti Priest	Recording Secretary	Present in Chambers

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5 Members of the Public virtually present.

1 Member of the Public present in Chambers.

5 additional Smoky Lake County Staff Members virtually present.

2.0 ADOPTION OF AGENDA

MPC24.011: Halisky

That the Agenda for the Municipal Planning Commission meeting for Thursday, April 25, 2024, be adopted as presented.

CARRIED UNANIMOUSLY.

3.0 MINUTES

MPC24.012: Fenerty

That the Minutes of Municipal Planning Commission meeting held on Thursday, January 11, 2024, be adopted as presented.

CARRIED.

Jered Serben, Reeve & Councillor Div. 5, left Council Chambers, time 11:04 a.m.

4.0 REQUEST FOR DECISION

4.1 Development Permits to be Considered:

4.1.1 DP-010-24: Variance Request – Accessory Buildings

MPC24.013: Fenerty

That the Municipal Planning Commission **APPROVE** Development Permit No. 010-24: **PLAN 2222453, BLOCK 1, LOT 2 (PT. NE 13-59-18-W4M), for the development of two (2) Accessory Buildings (“binzeebos”)**, subject to the following conditions:

1. The proposed Accessory Buildings shall be sited and constructed as per the Site Plan, dated March 27, 2024, attached to, and forming part of, this Development Permit, and shall conform to the following setbacks:

Minimum Front Yard Setback (from property line adjacent RGE RD 180): **VARIANCE GRANTED TO 4.87 meters (16.0 feet).**

Minimum Rear Yard Setback (from property line adjacent to the parcel to the west): **18.3 meters (60.0 feet).**

Minimum Side Yard Setback (from property line adjacent to HWY 28): **40.8 meters (134.0 feet).**

Minimum Side Yard Setback (from property line adjacent to the parcel to the north): **18.3 meters (60.0 feet)**.

2. The proposed Accessory Buildings shall not exceed a maximum height of 11.0 meters (36.1 feet).
3. The proposed Accessory Buildings shall not be located within 2.0 meters (6.56 feet) of a residence.
4. The proposed Accessory Buildings shall not encroach upon any easement or right-of-way.
5. Accessory Buildings, including existing Accessory Buildings and the proposed Accessory Buildings, shall not exceed a cumulative total of 12% of the total parcel area.
6. The proposed Accessory Buildings shall not be used as a dwelling unless the Accessory Building is an approved, Guesthouse, Garden Suite or Garage Suite.
7. Lot grade elevations must ensure that site grades shall be established to not allow one site to drain onto an adjacent site.
8. The proposed Accessory Building shall commence within twelve (12) months from the date of this Development Permit's issuance, and be carried out with reasonable diligence within five (5) years.
9. The Developer shall obtain any and all necessary approvals, permits, authorizations and licenses from any and all agencies, departments and authorities as may be required, including Safety Codes Permits, if necessary.
10. The Developer shall keep the area subject to the Development Permit in a clean and tidy condition, free from rubbish and non-aggregate debris.

CARRIED.

Jered Serben, Reeve & Councillor Div. 5, entered Council Chambers, time 11:13 a.m.

4.1.2 DP-011-24: Variance Request – Shipping Container

MPC24.014: Serben

That the Municipal Planning Commission **APPROVE** Development Permit No. 011-24: **PLAN 1422904, BLOCK 3, LOT 11 (PT. SW 21-60-12-W4M), for the development of a Shipping Container**, subject to the following conditions:

1. The proposed Shipping Container shall be sited and constructed as per the Site Plan, dated March 20, 2024, attached to, and forming part of, this Development Permit, and shall conform to the following setbacks:
 - Minimum Front Yard Setback: **7.6 meters (25.0 feet)**.
 - Minimum Rear Yard Setback: **0.9 meters (3.0 feet)**.
 - Minimum Side Yard Setback: **0.9 meters (3.0 feet)**.
 - Minimum Side Yard Setback: **0.9 meters (3.0 feet)**.
2. The maximum length of the proposed Shipping Container shall be 12.0 meters (40.0 feet). **VARIANCE GRANTED FROM MAXIMUM LENGTH OF 6.0 METERS (20.0 FEET) TO 12.0 METERS (40.0 FEET)**.
3. The maximum height of the proposed Shipping Container shall not exceed 3.0 meters (10.0 feet).
4. The proposed Shipping Container cannot be stacked on top of another Shipping Container nor any other structure.
5. The exterior finish of the proposed Shipping Container must be painted, clad or otherwise modified so as not to become an eyesore for adjacent properties or the travelling public, to the

satisfaction of the Development Authority, within two years of the placement of the proposed Shipping Container.

6. No human nor animal habitation shall be permitted within the proposed Shipping Container.
7. The proposed Shipping Container shall not be used as a dwelling, bunkhouse or a guesthouse.

CARRIED.

5.0 ISSUES FOR INFORMATION

5.1 Nil.

6.0 CORRESPONDENCE

6.1 Nil.

7.0 DELEGATION

7.1 Nil.

NEXT MEETING

The next Municipal Planning Commission Meeting will be at the call of Chairperson and Public Notice of the next meeting be provided at least 24 hours in advance in accordance with the *Municipal Government Act, RSA 200, cM-26.1 s195*, by posting the information on the Smoky Lake County website.

8.0 ADJOURNMENT

MPC24.015: Fenerty

That the Municipal Planning Commission Meeting of April 25, 2024, adjourn at 11:24 a.m.

CARRIED.

Dominique Cere, Chairperson

S E A L

Lydia Cielin, Interim CAO

**MUNICIPAL PLANNING COMMISSION
DEVELOPMENT REPORT**



AGENDA ITEM 4.1.1

MEETING DATE	JUNE 13, 2024
FILE NO.	DP 018-24
LEGAL DESCRIPTION	SW 8-60-15-W4M
LOT AREA	160 ACRES (80.31 ACRES PIT SIZE)
APPLICANT/DEVELOPER	DALE CROSWELL CONSTRUCTION CO. LTD. (DDC)
LANDOWNER	LORI & LARRY DANYLUK
PROPOSED DEVELOPMENT	NATURAL RESOURCE EXTRACTION/PROCESSING FACILITY (SAND & GRAVEL)
ZONING	AGRICULTURE (AG) DISTRICT
DEVELOPMENT TYPE	DISCRETIONARY USE
ROLL NO.	15600820
DIVISION	4 – NORTHWEST OF HAMLET OF BELLIS

RECOMMENDATION

That the Municipal Planning Commission **APPROVE** Development Permit No. 018-24: **SW 8-60-15-W4M, for the development of a Natural Resource Extraction/Processing Facility (Sand & Gravel)**, subject to the following conditions:

1. The proposed Natural Resource Extraction/Processing Facility (Sand & Gravel) shall be developed, constructed and sited as per “Figure 2: Site Development and Operation Plan”, included in the “Danyluk Pit – Class I Activities Plan”, dated January 2020, attached to, and forming part of, this Development Permit, and not to exceed 32.50 hectares (80.31 acres) in size. Any expansion of the proposed Natural Resource Extraction/Processing Facility (Sand & Gravel) shall require a subsequent Development Permit to be issued by the Development Authority for Smoky Lake County.
2. The Applicant/Developer shall be required to enter into a Development Agreement with Smoky Lake County prior to the issuance of a Development Permit for the proposed Natural Resource Extraction/Processing Facility (Sand & Gravel).
3. The Applicant/Developer shall obtain an Aggregate Extraction Business Licence, pursuant to Smoky Lake County Bylaw No. 1456-24: *Aggregate Extraction Business Licence Bylaw*, and amendments thereto, and shall comply with all provisions of said Bylaw, including, but not limited to, providing Smoky Lake County with quarterly aggregate reporting and payment of Business Licence fees.
4. The Applicant/Developer shall pay to Smoky Lake County, in accordance with Smoky Lake County Bylaw No. 1431-23: *Smoky Lake County Planning and Development Fees Bylaw*, Development Permit fees of \$750.00/acre (\$750.00 x 80.31 acres = \$60,232.50), prior to the issuance of this Development Permit.
5. The Applicant/Developer shall be required to enter into a Haul Road Agreement with Smoky Lake County prior to the issuance of this Development Permit.
6. The Applicant/Developer shall obtain a *Historical Resources Act Approval* from the Ministry of Arts, Culture and Status of Women prior to the issuance of this Development Permit.
7. This Development Permit will expire **fifteen (15) years** from the date of issuance.
8. The Applicant/Developer shall comply with all requirements of *Alberta Environment and Protected Areas*, including any registrations, permits, approvals and reclamation requirements.
9. Reclamation and rehabilitation of the subject lands shall be in accordance with the *Alberta Environmental Protection and Enhancement Act (EPEA)* and the *Code of Practice* for Pits.

10. Tree and brush removal on the subject lands shall take place only during the approved period of July 31 to April 15, as required by the *Alberta Wildlife Act* and the federal *Migratory Birds Convention Act*.
11. Any burning of vegetation on the subject lands will require the Applicant/Developer to obtain a *Burn Permit* from Smoky Lake County's Fire Chief, or his designate, prior to commencement of burning.
12. The Applicant/Developer shall submit a Fire Safety Plan to the satisfaction of Smoky Lake County's Fire Chief.
13. All equipment and activities related to mining, excavating and crushing operations shall be located within, and take place in, areas approved for gravel extraction by this Development Permit.
14. Hours of Operation shall be as follows:
 - a. **Crushing Operations:** 7:00 a.m. – 7:00 p.m., Monday through Saturday inclusive. No crushing shall be permitted on Sundays and Statutory Holidays.
 - b. **On-Site Development Operations (extraction, pit development, reclamation & tree removal):** 7:00 a.m. – 7:00 p.m., Monday to Saturday inclusive. No on-site development operation shall be permitted on Sundays and Statutory Holidays.
 - c. **Hauling:** 7:00 a.m. – 9:00 p.m., Monday to Saturday inclusive. Hauling shall not be permitted on Sundays and Statutory Holidays.
15. The Applicant/Developer shall ensure that dust and noise control measures are undertaken so as to prevent such effects from becoming a nuisance to adjacent landowners. In this regard, stockpiles shall be positioned to act as a sound barrier and the Applicant/Developer shall utilize any and all methods of minimizing the noise created from machinery and pit activities wherever possible. The Applicant/Developer shall be required to provide dust control upon request by, and to the satisfaction of, Smoky Lake County.
16. The Applicant/Developer shall keep the area subject to the Development Permit in a clean and tidy manner, free from rubbish and non-aggregate debris.
17. The Applicant/Developer shall install and maintain appropriate traffic and safety signage on and about the subject lands and adjacent road accesses.
18. Accesses and haul routes into extraction areas shall be located away from residential areas wherever possible.
19. No development, disturbance or alteration of a surface waterbody is permitted without first obtaining the necessary approvals under the *Water Act* and from the *Department of Fisheries and Oceans*, where applicable. Evidence of a *Water Act* approval or licence must be provided to the Development Authority for Smoky Lake County in cases where a surface waterbody is altered or disturbed.
20. All reasonable measures shall be taken by the Applicant/Developer to control erosion in the areas approved for sand and gravel extraction.
21. The Applicant/Developer shall obtain any and all approvals, permits, authorizations, certificates and licences, from any and all agencies, departments and authorities as may be required.
22. The use of engine-retarding brakes shall not be permitted within ½ mile of a residence on municipally-controlled roads.

BACKGROUND

1. The reason that this application has been referred to the Municipal Planning Commission is that a Natural Resource Extraction/Processing Facility (Sand & Gravel) is a Discretionary Use under Section 8.2 – Agriculture District, of Smoky Lake County Land Use Bylaw No. 1272-14.
2. Section 2.11.1.B requires the Development Authority Officer to refer their recommendations to the Municipal Planning Commission for its consideration and decision regarding all applications for Discretionary Uses.

3. In relation to Section 2.14 of Smoky Lake County Land Use Bylaw No. 1272-14, it is recommended that the notification radius be expanded to 1,000 meters from the subject lands as opposed to the minimum requirement of providing notice to landowners that are directly adjacent to the subject lands.
4. The Applicant/Developer proposes to develop a Natural Resource Extraction/Processing Facility (Sand & Gravel) on 80.31 acres of the subject lands.
5. The Applicant/Developer requests that pit operations be permitted between 7:00 a.m. and 7:00 p.m., Monday through Saturday, and that hauling be permitted between 7:00 a.m. and 9:00 p.m., Monday through Saturday, with no hauling or pit operations being permitted on Sundays and Statutory Holidays. The Development Authority Officer recommends that these hours of operation be included as a condition of the Development Permit.
6. The Applicant/Developer indicates that the lifespan of the Natural Resource Extraction/Processing Facility (Sand & Gravel) is expected to be fifteen (15) years. The Development Authority Officer recommends that the Development Permit expire after 15 years from the date of issuance.
7. The Applicant/Developer indicates that the maximum number of trucks hauling aggregate from the Natural Resource Extraction/Processing Facility (Sand & Gravel) on a given day is twenty (20), and estimates that the number of smaller vehicles entering at between two (2) and five (5) per day.
8. The Applicant/Developer proposes to utilize RGE RD 160, TWP RD 595A and RGE RD 155 as a haul route. The haul route will be determined by the Smoky Lake County Road Foreman and will be subject to a Haul Road Agreement as a condition of the Development Permit.
9. The Applicant/Developer proposes to address dust issues by watering the pit area and haul roads as required and by seeding all long-term stockpiles of reclamation materials to reduce dust generation.
10. The Applicant/Developer proposes to address noise issues by locating stockpiles to act as a sound barrier, ensuring that equipment is well-maintained and by prohibiting the use of engine-retard brakes at or near the pit.
11. The Applicant/Developer has an existing *Environmental Protection and Enhancement Act (EPEA)* Registration (#460709-00-00), originally held by Stony Valley Contracting Ltd., and subsequently transferred to Dale Croswell Construction Co. Ltd.

LAND USE BYLAW NO. 1272-14 – RELEVANT PROVISIONS

Section 1.7 – Interpretations/Definitions

187. “**Natural Resource Extraction/Processing Facility**” means an industry engaged in the extraction and/or processing of natural resources such as clay, sand, gravel, lumber and natural gas, through primary treatment into a raw marketable form and includes asphalt paving plants and concrete producing plants where applicable.

Section 2.4 – General Development Permit Application Requirements

1. An application for a development permit shall be made to the Development Authority in writing, on the application form provided by the municipality and **shall** be accompanied by:
 - A. a site plan, to scale, showing the legal description; north arrow; location and dimensions of property lines; existing utility rights-of-way and easements; fences; driveways; paved areas;

proposed front, rear, and side yard setbacks, if any; any provisions for off-street loading and vehicle parking; access and egress points to the site; and any encumbrance such as rights-of-way;

- B. existing and proposed building dimensions;
 - C. the location of abandoned wells (if applicable), location of water bodies (if applicable), and the location of developed and undeveloped roads (if applicable);
 - D. the type and location of water supply and sewage and waste water disposal facilities;
 - E. a statement of uses;
 - F. a statement of ownership of the land and the interest of the applicant therein;
 - G. the signatures of at least one of the registered landowner listed on the Certificate of Title;
 - H. the estimated commencement and completion dates;
 - I. the estimated cost of the project or contract price;
 - J. an application fee as established by resolution of Council;
 - K. a letter from the registered owner authorizing the right-of-entry by the Development Authority to such lands or buildings as may be required for investigation of the proposed development;
 - L. in the case of an application for a Development permit on Crown Land, Provincial authoizaation for the development; and
 - M. any other information as required by the Development Authority.
2. The Development Authority may also require additional information in order to assess the conformity of a proposed development with this Bylaw before consideration of the development permit application shall commence. Such information may include:
- A. floor plans;
 - B. elevations and sections of any proposed buildings;
 - C. a Real Property Report, or other documentation indicating the exact location of all structures on the property (prepared within the last five (5) years), in a form this is acceptable to the Development Authority;
 - D. drainage, grading and landscaping plans which provide pre and post-construction site elevations;

- E. a storm water management plan approved by Alberta Environment and Sustainable Resource Development (or other appropriate provincial authority);
- F. a geotechnical report prepared, stamped and signed by a qualified professional registered in the Province of Alberta in potentially hazardous or unstable areas;
- G. a biophysical assessment prepared, stamped and signed by a qualified professional, registered in the Province of Alberta, on the impacts of the proposed development on wildlife habitat or natural environments;
- H. a reclamation plan for aggregate extraction or site grading and excavation;
- I. an environmental assessment to determine potential contamination and mitigation;
- J. in the case of the placement of on already constructed or partially constructed building on a parcel of land, information relating to the age and condition of the building and its compatibility with the District in which it is to be located;
- K. a hydro-geological assessment, prepared, stamped and signed by a registered professional engineer or hydro-geologist, registered in the Province of Alberta, of any potential flooding or subsidence hazard that may, in the sole opinion of the Development Authority, affect the subject site;
- L. a site plan detailing how vegetation, topography disturbance or erosion is to be minimized;
- M. an environmental impact assessment describing a development's potential environmental effects;
- N. within the Garner Lake Area Structure Plan area, a landscaping plan;
- O. a Cumulative Effects Assessment;
- P. the identification of all right-of-ways and easements within or abutting the subject property; and/or

any additional information as the Development Authority deems necessary.

4. The Development Authority may make a decision on an application for a development permit notwithstanding that any information required or requested has not been submitted.

Section 2.7 – Natural Resource Extraction Development Permit Requirements

1. In addition to the information requirements indicated in Section 2.4 and Section 7.16 of this Bylaw, the Development Authority shall require, where not required to do so by the Province, that each application be accompanied by the following information:
 - A. a reclamation plan and a statement indicating the projected final use of the site. In those cases where the proponent is required to do so by the Province, the proponent shall submit a copy of the reclamation plan to the County;
 - B. for Class I Pits on Private Land (5 ha. (12.5 ac.) or greater in area): proof of approval from Environment and Sustainable Resource Development;
 - C. for Class II Pits on Private Land (under 5 ha. (12.5 ac.) in area): a reclamation deposit in the amount of \$2,000 per acre for each acre of land within the working pit;
 - D. the developer shall be responsible to ensure compliance with all applicable federal and provincial legislation and regulations.
 - E. all natural resource extraction development permits shall be considered temporary developments as specified by the Development Authority.
 - F. statement indicating the number of years the pit is proposed to be in operation;
 - G. anticipated generation of motor vehicle traffic estimated on a daily, weekly or monthly basis;
 - H. number of vehicles that will be used in the hauling of materials and the proposed hauling route to and from the site;
 - I. type and number of equipment to be used for each activity to be carried out on the site;
 - J. access locations to and from the site, including roads and highways, and anticipated traffic generation on each of the roads and highways resulting from the development;
 - K. dust control measures to be implemented, including the suppressant materials or methods to be used either on the pit floor and on stockpiles as well as the proposed frequency of application;
 - L. projected impacts of dust or emissions (asphalt, gravel crushing, concrete or other) and the methods to be used for controlling such dust or emission;
 - M. proposed frequency for cleaning settled dust from, in and around gravel crushing plants;
 - N. provisions for loading and parking;
 - O. descriptions of any noxious, toxic, radioactive, flammable or explosive materials to be stored or used on the site;

- P. location of garbage and storage areas and proposed fencing and screening for the same, as well as the proposed method for disposing of garbage;
- Q. provision of a written security plan that identifies potential dangerous situations, area and typical procedures to be used for monitoring the site during periods of activity and also when activity on the site is suspended;
- R. proposed methods to be used to restrict public access, protect wildlife, neighbouring livestock and domestic animals;
- S. quality and quantity of well water and soil tests for the water systems that may be used in conjunction with the proposed development;
- T. amount of water required for the proposed development on a daily, weekly or monthly basis and the proposed water source;
- U. engineering studies which demonstrate the suitability of the proposed method of water supply;
- V. engineering studies which demonstrate the suitability of the proposed method of effluent disposal;
- W. engineering studies which demonstrate the suitability of the proposed method of surface water management;
- X. method proposed for controlling noise, dust and drainage from the site both during and after completion of the operation;
- Y. profiles and cross sections showing the original ground level, the proposed depth of any excavation, the finished grade elevation, the depth of the over-burden and water table elevations;
- Z. the method intended to be used for excavation of the materials contained within the land, backfilling, terracing, compacting, leveling, reclaiming the site and equipment to be used in connection therewith;
- AA. the method to be used for supporting pit walls;
- BB. size, number and location of stockpiles of topsoil, overburden and gravel;
- CC. proposed days and hours of operation for each activity and any known or regularly anticipated periods of inactivity;
- DD. if the proposal is located within the heritage overlay area, then a Historic Resource Impact Assessment and/or clearance from the Alberta Culture and Community Spirit; and

- EE. where an asphalt paving plan or concrete producing plant is proposed, a signed statement indicating that the proposed development conforms to the current Code of Practice for asphalt paving plants or concrete producing plants.
- 2. Without limiting the requirements of the Development Authority, the proponent will also be required to enter into:
 - A. a haul road agreement with the County; and
 - B. development agreement with the County.

Section 2.11 – Decisions on Development Permit Applications

- 1. The Development Authority Officer shall:
 - A. receive and review all applications for Development Permits;
 - B. refer their recommendations to the Municipal Planning Commission for its consideration and decision regarding all applications for a Discretionary Use.
- 2. In making a decision, the Development Authority may approve the application unconditionally, approve the application subject to those conditions that he/she considers appropriate, approve the application permanently or for a limited period of time, or refuse the application.
- 4. In approving an application for a Development Permit, the Development Authority may impose the condition that the approved development be allowed to operate for a limited period of time, which shall be specified on the Permit, and that upon the expiry of such time the use allowed shall be discontinued and any buildings that were erected as a result of the Development Permit shall be removed, and the site restored to its original condition prior to the issuance of the Development Permit.

Section 7.16 – Natural Resource Extraction Industries

- 1. In accordance with in Sections 2.4 and 2.7 of this Bylaw, a development permit will be required for natural resource extraction developments including but not limited to: borrow pits, sand, gravel, clay, top soil, gypsum, granite, salt or any other mineral extraction operation.
- 2. A development permit shall not be issued for a sand, gravel, clay, coal, limestone, gypsum, granite, salt or a mineral extraction operation until any necessary reclamation plan and permit/license is approved by the Provincial Government.
- 3. Where not required to do so by Provincial agencies, the proponent of a natural resource extraction industry shall be required to submit a reclamation plan to the Development Authority for their approval prior to the issuance of a development permit.

4. Where not required to do so by the Province, the proponent of a natural resource extraction industry shall, at the discretion of the Development Authority, be required to post with the County security in the form of either, cash or an irrevocable letter of credit to ensure that reclamation will be completed.
5. A disturbed area shall be reclaimed to:
 - A. at least its former capability for agriculture; or
 - B. any other use which the Development Authority feels will be beneficial to the County.
6. The following conditions of approval may be included when processing an application for a natural resource extraction industry:
 - A. limitation of hours of operation;
 - B. requirement to enter into a Road Use Agreement with the County for the provision of dust control and maintenance/upgrading of roads used in direct relation to the operation;
 - C. posting of adequate signage, including company name and emergency telephone numbers, to warn of possible site or operational hazards and dangers;
 - D. methods of minimizing noise in relation to the activities of the operation; and
 - E. payment of an aggregate levy to the County as outlined by the County's Community Aggregate Payment Levy bylaw.
7. Extraction operations, such as sand, gravel and other mineral resource workings shall be permitted to proceed only after the issuance of proper licenses that indicate compliance with the appropriate provincial and federal legislation and regulations.
8. The County should not allow residential, commercial, or industrial development to occur on known commercial deposits of sand and gravel or other mineral resources if that development will prevent the future extraction of the resource.
9. Council shall urge the provincial and federal agencies to comply with the policies of this section and the overall intent of the Plan when developing natural resource extraction activities that are exempt from control under the Municipal Government Act.

SUPPORTING DOCUMENTS

APPENDIX A	BYLAW NO 1272-14: SECTION 8.2: AGRICULTURE (AG) DISTRICT	PAGE 10
APPENDIX B	DEVELOPMENT PERMIT APPLICATION DP -018-24	PAGE 16
APPENDIX C	GENERAL LOCATION MAP	PAGE 149

Prepared by: 
 Jordan Ruegg, Development Officer

May 31, 2024
 Date

**APPENDIX A – LAND USE BYLAW NO 1272-14: SECTION 8.2
AGRICULTURE (AG) DISTRICT**



8.2 AGRICULTURE (AG) DISTRICT

1. Purpose

The general purpose of this District is to allow a range of activities associated with working landscapes including agricultural uses and resource extraction uses that support the rural economy, rural lifestyle and discourage the fragmentation of the County's land base.

2. Permitted Uses

- A. Art, Craft and Photographic Studios
- B. Agricultural Support Service
- C. Basement Suite
- D. Bed and Breakfast Establishment
- E. Buildings and Uses Accessory to Permitted Uses
- F. Community Hall
- G. Day Home
- H. Dwelling, Single Detached
- I. Dwelling, single detached, tiny
- J. Extensive Agriculture
- K. Garage Suite
- L. Garden Suite
- M. Guest House
- N. Home Occupation, Major
- O. Home Occupation, Minor
- P. In-law Suite
- Q. Manufactured Home
- R. Modular Home
- S. Natural Area
- T. Public Utility
- U. Secondary Suite
- V. Shipping Container

3. Discretionary Uses

- A. Alternative Energy, Commercial; and
- B. Alternative Energy, Personal.
- C. Animal Breeding and/or Boarding Facility
- D. Animal Clinic
- E. Animal Hospital
- F. Animal Hospital, Large
- G. Boarding Facility
- H. Buildings and Uses Accessory to Discretionary Uses
- I. Campground, minor
- J. Campground, intermediate
- K. Campground, major
- L. Cemetery
- M. Child Care Facility
- N. Day Care Facility

- O. Duplex (Vertical and Side-by-Side)
- P. Family Care Facility
- Q. Intensive Agriculture
- R. Kennel
- S. Natural Resource Extraction Industry
- T. Place of Worship
- U. Public and Quasi-Public Building and Use
- V. Public Utility
- W. Recreational Use
- X. Recreational vehicle park
- Y. Relocated Building
- Z. Secondary Commercial
- AA. Sign
- BB. Surveillance Suite
- CC. Transfer Station
- DD. Utility Building
- EE. Workcamp, Short-Term
- FF. Other Uses which, in the opinion of the Development Authority, are similar to the above mentioned Permitted and Discretionary Uses

4. Subdivision Regulations

A maximum of five (5) parcels per quarter section may be subdivided for agricultural, or residential uses including the subdivision of fragments. The following chart presents information by use type regarding the maximum number of parcels allowed per quarter section.

	Maximum Parcel Density Per Quarter Section By Use Type	Minimum Parcel Size	Maximum Parcel Size
Agricultural Use	2 parcels per quarter section	Normally 32.0 ha (80.0 ac.) however a single 16.0 ha (40.0 ac.) parcel may be subdivided if the proposed parcel conforms to 4(A)(ii)	At the Discretion of the Subdivision Authority
Residential Use	4 parcels per quarter section	0.8 ha (2.0 ac.)	8.0 ha (20.0 ac.)
Commercial Use	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority
Community/ Institutional Use	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority
Industrial Use	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority	At the Discretion of the Subdivision Authority

A. Lot Area – Agricultural Use

- i. The **minimum** parcel size for extensive agricultural uses shall normally be 32.0 ha (80.0 ac.) less any approved subdivisions.
- ii. Notwithstanding (A)(i) above, the subdivision of a single 16.0 ha (40.0 ac.) parcel for agricultural use may be permitted out of an **un-subdivided** quarter section if the following criteria are met to the satisfaction of the County:
 - a. Legal and year round physical access to the proposed parcel and the remainder are developed to County standards;
 - b. The proposed use of the parcel will not adversely impact adjacent agricultural uses;
 - c. The parcel is should normally be located:
 - I. adjacent to or near quarter section boundaries;
 - II. in close proximity to existing residential parcels or farmsteads on adjacent quarter sections;
 - III. along a designated rural residential collector road;
 - d. The applicant demonstrates that the parcel can be serviced on-site as per provincial regulations;
 - e. If the parcel is to be used for an intensive agricultural operation or a value added agricultural industry¹, the use and size of the parcel is supported by a business plan that may include:
 - I. a financial plan to the satisfaction of the County;
 - II. a detailed site plan of the proposed operation including the required land area, expansion possibilities and possible effects on adjacent landowners, uses and municipal infrastructure;
 - III. information regarding potential traffic generation which may include a Traffic Impact Assessment;
 - IV. potential nuisance factors and any mitigation measures necessary to reduce nuisance factors; and
 - V. where necessary, a detailed site assessment which indicates the location, character and parcel coverage percentages of the

¹ Value added industry in this context means: an industry which economically adds value to a product by changing it from its current state to a more valuable state.

environmentally sensitive areas and/or heritage features on the site.

B. Lot Area – Residential Use

- i. Normally, a maximum of 8.0 ha (20.0 ac.) per quarter section will be allowed for residential subdivisions.
- ii. Normally, the minimum lot area allowed for vacant residential parcels or for farmstead separations will be 0.8 ha (2.0 ac.) and the maximum lot area will be 8.0 ha (20.0 ac.).

C. Lot Area - Other Uses

The minimum parcel size for other uses shall be as provided for elsewhere in this Bylaw, in the County's Municipal Development Plan, in any relevant Area Structure Plan, or as required by the Subdivision Authority.

5. Development Regulations

A. Minimum Yard Dimensions

It should be noted that adjacent to Provincial Highways, Alberta Transportation may require greater setbacks for development. Contact Alberta Transportation regarding their requirements in this regard.

i. Minimum Front Yards

From Municipal Road Allowances	23.1 m (92.0 ft.) from the property line
From Highways	40.8 m (134.0 ft.) from the boundary of the right-of-way or as required by Alberta Transportation
Internal Subdivision Road	7.6 m (25.0 ft.) from the property line

ii. Minimum Side Yards

From Municipal Road Allowances	18.3 m (60.0 ft.) from the property line
From Highways	40.8 m (134.0 ft.) from the boundary of the right-of-way or as required by Alberta Transportation
Internal Subdivision Road	7.6 m (25.0 ft.) from the property line

Adjacent to Another Parcel	18.3 m (60.0 ft.) from the property line
----------------------------	--

iii. Minimum Rear Yards

From Municipal Road Allowances	18.3 m (60.0 ft.) from the property line
From Highways	40.8 m (134.0 ft.) from the boundary of the right-of-way or as required by Alberta Transportation
Internal Subdivision Road	7.6 m (25.0 ft.) from the property line
Adjacent to Another Parcel	18.3 m (60.0 ft.) from the property line

iv. Notwithstanding subsections (A), (B), and (C) above, where there is an intersection or sharp curve, the minimum yard requirements shown on Figures 20 and 21 of this Bylaw shall apply.

B. Minimum Floor Area

- i. Single detached dwellings – 69.7 sq. m (750.0 sq. ft.)
- ii. Manufactured and modular home units – 65.0 sq. m (700.0 sq. ft.)
- iii. All others uses at the discretion of the Development Authority

C. Maximum Site Coverage - 45%

Of the 45% site coverage, a maximum of 15% of the total site may be covered by accessory buildings

D. Maximum Height

- i. 11.0 m (36.1 ft.)
- ii. In the case of buildings which are accessory to extensive agriculture and for discretionary uses, the maximum height shall be at the discretion of the Development Authority.

6. Other Regulations

A. Residential parcels in the Agriculture District will not be allowed:

- i. within required setbacks from a sewage treatment plant or lagoon or solid waste

- disposal site as specified by the appropriate guidelines or authority;
 - ii. within required setbacks from sour gas wells, pipelines and ancillary facilities;
 - iii. within an area likely to be subject to high levels of noise or emissions from industry, transportation facilities, or other sources; or
 - iv. within a 1 in 100 year flood plain.
- B. A development permit for a dwelling shall be issued only on condition that approval of the proposed sewage disposal system is received in accordance with provincial regulations.
 - C. Development proposals adjacent to a primary highway shall comply with any relevant provincial regulations.
 - D. Fences shall be developed in accordance with Section 7.7 of this Bylaw.
 - E. Landscaping shall be provided in accordance with Section 6.11 of this Bylaw.
 - G. Shipping containers shall be developed in accordance with Section 7.31 of this Bylaw
 - H. Accessory buildings shall be developed in accordance with Section 6.1 of this Bylaw.

APPENDIX B – DEVELOPMENT PERMIT APPLICATION -DP-010-24



11213 Winterburn Rd NW
Edmonton, AB T5S 2B2

Office (780) 809 8191
Fax (780) 809 8190
Site aspenlandgroup.com

May 3, 2024

Smoky Lake County
Box 310 4612 McDougall Drive
Smoky Lake, AB T0A 3C0

Attention: Jordan Ruegg
Planning and Development Officer

Reference: Development Permit Application
Danyluk Pit – Dale Croswell Construction Co. Ltd.
SW 08-060-15-W4M – Smoky Lake County

Dear Mr. Ruegg,

On behalf of Dale Croswell Construction Co. Ltd., attached for your consideration is a Development Permit Application for a sand and gravel extraction operation located at SW 08-060-15-W4M known as the Danyluk pit. A supplemental information attachment with regard to the development permit application has been included as an attachment to this letter. Additionally, a copy of the original Activities Plan in DDC's name (prepared by Green Plan Ltd.) under the *Code of Practice for Pits* submitted to Alberta Environment and Protected Areas is attached for reference. Additional Information not found within the supplemental information can be found in the Activities Plan. Also included as an attachment is all current authorizations under EPEA, as well as a copy of clearance approval under the Historical Resources Act.

If you have any questions with the above or the attached information, please contact the undersigned at (780) 809-8191 or alternatively at jbalak@aspenlandgroup.com.

Sincerely,

A handwritten signature in black ink that reads "Josh Balak".

Joshua Balak, AIT
Aspen Land Group Inc.

cc: Dale Croswell, Dale Croswell Construction Co. Ltd.

Enclosures: Attachment A: Certificate of Title
Attachment B: EPEA Registrations No. 460709-00-00 & No. 460709-00-01

- Attachment C: Smoky Lake County Development Permit Application
- Attachment D: Jan. 2020 Danyluk Pit Activities Plan prepared by Green Plan Ltd.
- Attachment E: Historical Resources Act Approval





11213 Winterburn Rd NW
Edmonton, AB T5S 2B2

Office (780) 809 8191
Fax (780) 809 8190
Site aspenlandgroup.com

Supplemental Information
Development Permit Application

Dale Croswell Construction Co. Ltd. – Danyluk Pit – SW 08-060-15-W4M

Legal Description: SW 08-060-15-W4M

Landowners: Lori and Larry Danyluk – SW 08-060-15-W4M
(Copy of the Certificate of Title is included in Attachment A)

Intended Use: Dale Croswell Construction Co. Ltd. (DDC) is proposing the development of a sand and gravel extraction operations known as the Danyluk Pit (the pit) located at SW 08-060-15-W4M within Smoky Lake County. Operations are proposed to be consistent with the operations proposed by Stony Valley Contracting Ltd. that were issued Development Permit No. DP-010-20. As Stony Valley Contracting Ltd. did not finalize the permitting process by paying the applicable fees, a new development permit application is now required by DDC.

Pit operations will include soil salvage and stockpiling, excavation, crushing, hauling and reclamation activities. All aggregate product will be used to provide material for a variety of projects within Smoky Lake County and surrounding areas.

Commencement Date: 2024

Expected Life of the Project: 15 years

Existing Land Use: The property proposed for development is currently housing a small abandoned sand and gravel operation, while the remaining land is a mixture of forested area and agricultural area. This property is located within the (AG) Agriculture District of Smoky Lake County, and is being utilized as such.

Existing Site Conditions: As shown on Figure 2 in Attachment D, the current 1.4 ha pit disturbance area has not been reclaimed by the previous operator. DDC intends to complete

the development of this area and the remaining 32.50 ha pit area before commencement of reclamation.

Proposed Operation:

DDC intends to develop the majority of the southern half of the SW 08-060-15-W4M. In total, the maximum size of the pit will be 32.50 ha based on the currently registered Activities Plan (Attachment D). Extraction activities are based on the mine plans included within the attached Activities Plan (Attachment D) and will proceed in sequence while progressively reclaiming each extraction phase. As shown on Figure 2 within Attachment D, the pit has been broken down into four mining phases, with a total area of 32.50 ha to be mined. Mining is proposed to begin with the previously disturbed area as Phase 1.

The depth of aggregate extraction does not extend into the water table throughout the proposed mining area, and as such the pit will be run as a dry pit operation. If at any point groundwater is encountered, operations will cease, and a groundwater study will be conducted.

Stockpile Location:

Reclamation material stockpiles will be located along the edges of each extraction phase, as shown on Figure 2 within the attached Activities Plan (Attachment D).

Hours of Operation:

DDC is requesting that the hours of operation for the pit that will include stripping, extraction, crushing, hauling and reclamation occur between 7:00 a.m. and 7:00 p.m., Monday through Saturday.

Hours of Hauling:

DDC is requesting that the hours of operation for the pit that will include extraction, crushing, and on-site development be consistent with other operations in the County, and allow for 24 hours/day 365/year, with hauling conducted between 7:00 a.m. to 9:00 p.m. Monday through Saturday inclusive with no hauling on Sundays or Statutory Holidays.

Hauling Activities:

The maximum number of trucks that will be hauling at any one time will be 20 trucks per day.

Passenger Vehicle Traffic:

The average number of motorized vehicles that will enter the pit on a daily basis is expected to range between two to five.

Access and Haul Route:

Trucks will access the pit via Highway 28, north on Range Road 160, east on Township Road 595A, and North on Range Road 155 to the pit access. From the pit, trucks will head south on Range Road 155 to Township Road 595A,



where they will head south on Range Road 160 to Highway 28. Trucks will travel east or west on Highway 28 to market.

Dust and Noise:

Mitigative measures to control dust will include watering the area being excavated and the haul road as required. DDC will also ensure that all loads of sand and gravel material are properly tarped and that the speed limits as set within the pit and as required along Highway 28 are strictly followed. In addition, all long term stockpiles of reclamation material will be seeded to a grass mix and progressive reclamation techniques will be employed as soon as possible to reduce the overall disturbance at any one time.

All operations within the pit will be conducted in accordance with all municipal and provincial regulations governing noise levels. To minimize impacts associated with noise, DDC will implement such measures as properly maintaining equipment, requiring all trucks hauling from the pit to be in good working order, and prohibiting the use of retarder breaks at or near the pit.

Water Quality and Quantity:

This pit will be run as a dry excavation, and as such a *Water Act* approval for water use or disturbance is not required.

Proposed End Land Use:

The proposed end-land use will be pasture land with a seed mix approved by the current landowner.

Loading and Parking:

Loading and parking areas will be located within designated areas of the pit. Parking areas will be located a safe distance from open excavation areas and active equipment.

Pit Security:

DDC will monitor the property fencing surrounding the pit and proposed mining area for protection of the public, and privacy of the landowner. Signage will be placed at the pit entrance, and the fence will remain locked during periods of inactivity.

Fuel Storage:

To reduce the risk of any hydrocarbons contaminating the soil within the pit, double walled fuel storage tanks and a designated fueling/maintenance area will be used during mining operations. Any spillage of fuel within this designated area will be hauled to a Class II landfill for proper disposal.

Waste Management:

All industrial and sanitary waste generated in the pit will be hauled to an approved municipal or class II landfill or approved municipal wastewater treatment facility for proper disposal.



Abandoned Well Search:

An abandoned well search was conducted for the SW 08-060-15-W4M to determine the presence of abandoned wells within the pit. The search revealed that no oil and gas wells are present within the proposed development area.

Environmental Authorizations:

Stony Valley Construction Ltd. receive a registration (Registration No. 460709-00-00) for the pit based on the attached activities plan on August 26, 2020. The registration was transferred to DDC on August 9, 2023. Both documents are provided in Attachment B.

Based on the proposed operations at this time, no *Water Act* authorization is required.

Historical Resources Act:

An application for clearance under the Historical Resources Act was submitted through Online Permitting and Clearance (OPaC), and approval was granted on April 28, 2020. A copy of the approval has been provided in Attachment E.





Attachment A: Certificate of Title



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0023 528 145 4;15;60;8;SW 042 035 264

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 15 TOWNSHIP 60
 SECTION 8
 QUARTER SOUTH WEST
 CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
 EXCEPTING THEREOUT: 1.62 HECTARES (4 ACRES) MORE OR LESS
 AS SHOWN ON ROAD PLAN 5890CL
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: SMOKY LAKE COUNTY

REFERENCE NUMBER: 822 116 156

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
042 035 264	22/01/2004	TRANSFER OF LAND	\$50,000	NIL

OWNERS
 LARRY M DANYLUK
 AND
 LORRAINE L DANYLUK
 BOTH OF:
 BOX 34
 SMOKY LAKE
 ALBERTA T0A 3C0
 AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
762 014 722	26/01/1976	UTILITY RIGHT OF WAY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
042 035 264

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

GRANTEE - THE COUNTY OF SMOKY LAKE NO. 13.

022 374 285 03/10/2002 CAVEAT
RE : SURFACE LEASE UNDER 20 ACRES
CAVEATOR - CANADIAN NATURAL RESOURCES LIMITED.
BOX 6926, STATION "D"
CALGARY
ALBERTA T2P2G1
AGENT - BETTY YEE
(DATA UPDATED BY: CHANGE OF ADDRESS 072373048)
(DATA UPDATED BY: TRANSFER OF CAVEAT
082356927)

022 396 654 21/10/2002 CAVEAT
RE : RIGHT OF WAY AGREEMENT
CAVEATOR - CANADIAN NATURAL RESOURCES LIMITED.
BOX 6926, STATION "D"
CALGARY
ALBERTA T2P2G1
AGENT - BETTY YEE
(DATA UPDATED BY: CHANGE OF ADDRESS 072372777)
(DATA UPDATED BY: TRANSFER OF CAVEAT
082356928)

052 055 415 11/02/2005 MORTGAGE
MORTGAGEE - ALBERTA TREASURY BRANCHES.
SMOKY LAKE BRANCH, 50 WHEATLAND AVENUE, BOX 689
SMOKY LAKE
ALBERTA T0A3C0
ORIGINAL PRINCIPAL AMOUNT: \$56,000

082 328 739 07/08/2008 UTILITY RIGHT OF WAY
GRANTEE - ALTAGAS UTILITIES INC.

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 3 DAY OF MAY,
2024 AT 08:27 A.M.

ORDER NUMBER: 50409193

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

(CONTINUED)

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Attachment B: *Environmental Protection and Enhancement Act (EPEA) Registrations*
No. 460709-00-00 & No. 460709-00-01

REGISTRATION

PROVINCE OF ALBERTA

ENVIRONMENTAL PROTECTION AND ENHANCEMENT ACT R.S.A. 2000, c.E-12, as amended

REGISTRATION NO.: 460709-00-00


APPLICATION NO.: 001-460709

EFFECTIVE DATE: August 26, 2020

REGISTRATION HOLDER: Stony Valley Contracting Ltd.

Registration is issued for the following activity:

The construction, operation or reclamation of DANYLUK PIT located in the SW 08-060-15-W4M as per the Registration Application, the Activities Plan dated January, 2020 and all supplemental information provided.

Designated Director under the Act 
Muhammad Aziz, P. Eng.

Date Signed August 26, 2020

CONSENT TO TRANSFER APPROVAL NO. 460709-00-00

ENVIRONMENTAL PROTECTION AND ENHANCEMENT ACT

WHEREAS the Director has issued Approval Number 460709-00-00 to Stony Valley Contracting Ltd. to undertake the activity described in the Approval.

AND WHEREAS Stony Valley Contracting Ltd., pursuant to section 75 of the Environmental Protection and Enhancement Act of Alberta, has requested the Director to consent to the transfer of the Approval to Dale Croswell Construction Company.

AND WHEREAS the Director is in receipt of security from Dale Croswell Construction Company

NOW THEREFORE pursuant to section 11 of the Approvals Procedure Regulation, I, the Designated Director under the Act, consent to the transfer of the Approval from Stony Valley Contracting Ltd. to Dale Croswell Construction Company

IN CONSIDERATION of the Designated Director consenting to the transfer of the Approval from Stony Valley Contracting Ltd., to Dale Croswell Construction Company, Dale Croswell Construction Company covenants and agrees with the Designated Director to comply with and to be bound by all the terms of the Approval as if the Approval had been issued by the Director to Dale Croswell Construction Company

[Signature]
Stony Valley Contracting Ltd.

D.C. FOOTS
Print Name

[Signature]
Witness (if not under corporate seal)

Hannah Friesen
Print Name

[Signature]
Dale Croswell Construction Company

Dale Croswell
Print Name

[Signature]
Witness (if not under corporate seal)

Melissa Olah
Print Name

[Signature]
Designated Director under the Act

August 9, 2023
Date

Classification: Protected A



Attachment C: Smoky Lake County Development Permit Application

DEVELOPMENT PERMIT APPLICATION FORM**DEVELOPMENT PERMIT INSTRUCTIONS**


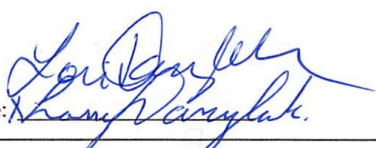
It is important to read and understand the following instruction prior to completing this application form:

- 1) Every application for a Development Permit shall be submitted in complete form, accompanied by the applicable application fee set pursuant to Smoky Lake County [Policy No. 61-11: Planning and Development Fees](#). If site work or construction has commenced prior to obtaining a Development Permit, you are advised that **no further work on the Development is to occur until a Development Permit has been issued**. Any access to, site servicing of, or construction started on the property prior to the issuance of a Development Permit, and/or during the appeal period, is at the Developer's risk and may be subject to enforcement measures being taken pursuant to the *Land Use Bylaw* and/or the *Act*, where applicable.
- 2) An application for a Development Permit **shall** be accompanied by the following information:
 - a. a site plan, to scale, showing the legal description; north arrow; location and dimension of property lines; existing utility rights-of-way and easements; fences; driveways; paved areas; proposed front, rear and side yard setbacks, if any; any provisions for off-street loading and vehicle parking; access and egress points to the site; and any encumbrance such as rights-of-way;
 - b. existing and proposed building dimensions;
 - c. the location of abandoned wells (if applicable), location of water bodies (if applicable), and the location of developed and undeveloped roads (if applicable);
 - d. the type and location of water supply and sewage and waste water disposal facilities;
 - e. a statement of uses;
 - f. a statement of ownership of the land and the interest of the applicant therein;
 - g. the signatures of at least one of the registered landowners listed on the Certificate of Title;
 - h. the estimated commencement and completion dates;
 - i. the estimated cost of the project or contract price;
 - j. an application fee as established by Smoky Lake County Policy No. 61-11: *Planning and Development Fees*, as amended;
 - k. written authorization from the registered owner authorizing the right-of-entry by the Development Authority to such lands or buildings as may be required for investigation of the proposed development;
 - l. in the case of an application for a Development Permit on Crown Land, Provincial authorization for the Development; and
 - m. any other information as required by the Development Authority.
- 3) The Development Authority **may** also require additional information in order to assess the conformity of a proposed Development with the *Land Use Bylaw* before consideration of the Development Permit shall commence. Such information may include:
 - a. floor plans;
 - b. elevations and sections of any proposed buildings;

- c. a Real Property Report, or other documentation indicating the exact location of all structures on the property (prepared within the last five (5) years, in a form that is acceptable to the Development Authority;
 - d. drainage, grading and landscaping plans which provide pre-and-post construction site elevations;
 - e. a storm water management plan approved by Alberta Environment and Parks (or other appropriate provincial authority);
 - f. a geotechnical report prepared, stamped and signed by a qualified professional registered in the Province of Alberta, in potentially hazardous or unstable areas;
 - g. a biophysical assessment prepared, stamped and signed by a qualified professional registered in the Province of Alberta, on the impacts of the proposed Development on wildlife habitats and environments;
 - h. a reclamation plan for aggregate extraction or site grading and excavation;
 - i. an environmental assessment to determine potential contamination and mitigation;
 - j. in the case of placement of an already constructed or partially constructed building on a parcel of land, information relating to the age and condition of the building and its compatibility with the District in which it is to be located;
 - k. a hydro-geological assessment, prepared, stamped and signed by a registered professional engineer or hydro-geologist, registered in the Province of Alberta, of any potential flooding or subsidence hazard that may, in the sole opinion of the Development Authority, affect the subject site;
 - l. a site plan detailing how vegetation, topography disturbance or erosion is to be minimized;
 - m. an environmental impact assessment describing a Development's potential environmental effects;
 - n. within the Garner Lake Area Structure Plan area, a landscaping plan;
 - o. a Cumulative Effects Assessment;
 - p. the identification of all rights-of-way and easements within or abutting the subject property; and/or
 - q. any additional information the Development Authority deems necessary.
- 4) Developers are advised to accurately locate any and all oil, gas, power, telephone and other utility lines on the subject site prior to the commencement of a Development by contacting Alberta One-Call at 1-800-242-3447 or by visiting www.albertaonecall.com.
- 5) Please note, that a Development Permit does not constitute a Building Permit, or any other Permit issued pursuant to the *Safety Codes Act*. After obtaining a Development Permit from Smoky Lake County, a Developer is required to obtain the applicable *Safety Codes Act* Permits (Building, Plumbing, Gas, Electrical and Private Sewage Disposal) from the County's Safety Codes inspectors The Inspections Group Inc. Please contact The Inspections Group Inc. at 780-454-5048 or by email at questions@inspectionsgroup.com.
- 6) If you have any questions regarding this application package, please contact the Smoky Lake County Planning and Development Department at 780-656-3730 or by email at pd@smokylakecounty.ab.ca. Alternatively, you may arrange a pre-application meeting with Planning and Development staff to discuss a proposed Development.

Section B – Proposed Development Information	
Estimated Cost of Project (\$): <u>N/A</u>	
Estimated Commencement Date: <u>April 2024</u> Estimated Completion Date: <u>October 2039</u>	
Dwelling:	
Floor Area _____ sq. ft. % of Lot Occupied _____ Height of Dwelling _____ ft / m	
Accessory Building:	
Floor Area _____ sq. ft. % of Lot Occupied _____ Height of Acc. Bldg _____ ft / m	
Parking: # of Off-Street Parking Stalls (if applicable) _____	
Land Use District (Zoning) of Property: <u>Agricultural District</u>	
Description of Work: <u>DDC is proposing the development operation and reclamation of a 32.5 ha sand and gravel extraction operation within the SW 08-060-15-W4M.</u>	
Section C – Preferred Method of Communication	
When a decision has been made on your file, do you wish for us to:	
<input type="checkbox"/> call you for pick up <input type="checkbox"/> mail the decision <input checked="" type="checkbox"/> email the decision	
Section 608(1) of the <i>Municipal Government Act</i> , R.S.A. 2000, c. M-26, as amended states:	
608(1) Where this <i>Act</i> or a regulation or bylaw made under this Section requires a document to be sent to a person, the document may be sent by electronic means if	
a) the recipient has consented to receive documents from the sender by those electronic means and has provided an e-mail address, website or other electronic address to the sender for that purpose.	
I/we grant consent for the Development Authority to communicate information and/or the decision electronically regarding my/our application. <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
<p>OFFICE USE ONLY</p> <p>Type of Payment: <input type="checkbox"/> DEBIT <input type="checkbox"/> CASH <input type="checkbox"/> CHEQUE</p> <p>Fee \$ _____</p> <p>Receipt # _____</p> <p>Receipt Date _____</p> <p>Date Received _____</p> <p><small>*and deemed complete by Development Authority.</small></p> <p><input type="checkbox"/> Entered into MuniSight PD # _____</p>	<p>Authorization: <input type="checkbox"/> Permitted Use <input type="checkbox"/> Discretionary Use</p> <p>Issuing Officer's Name _____</p> <p>Issuing Officer's Signature _____</p> <p>Date of Approval _____</p> <p>Date Issued _____</p> <p>Comments and/or Variances _____</p>

DEVELOPMENT PERMIT APPLICATION FORM

Internal Use Only	
Our File Number: _____ Roll Number: _____ Your File Number: _____	
Applicant Information	
Applicant/Agent: <u>Dale Croswell Construction Co. Ltd.</u> Phone: <u>780-398-3568</u>	
Address: <u>P.O. Box 690</u> Cell Phone: <u>780-398-3568</u>	
City/Prov.: <u>Thorhild, AB</u> Postal Code: <u>T0A 3J0</u> Fax: <u>N/A</u>	
Email address: <u>info@ddcsandandgravel.ca</u> Signature: 	
Applicant/Agent Authorization: I am the applicant/agent authorized to act on behalf of the registered owner and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.	
Registered Landowner Information <input type="checkbox"/> Owner same as applicant	
Registered Owner: <u>Larry and Lorraine Danyluk</u> Phone: <u>N/A</u>	
Address: <u>Box 34</u> Fax: <u>N/A</u>	
City/Prov. <u>Smoky Lake, AB</u> Postal Code: <u>T0A 3C0</u> Signature: 	
Section A - Property Information	
Division _____	
Legal: Lot ____ Block ____ Plan _____ and _____ Part of <u>_SW_ ¼ Sec _08_ Twp _060_ Rge _15_ W4M</u>	
Subdivision Name (if applicable) or Area of Development _____	
Rural Address/Street Address _____ Parcel Size _____	
Number of existing dwellings on property (please describe) <u>No dwellings exist within the SW 08-60-15-W4M.</u>	
Has any previous application been filed in connection with this property? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please describe the details of the application and file number:	
<u>A development permit application for this pit was previously submitted and approved on behalf of Stony Valley Contracting Ltd. (DP-010-20).</u>	
Is the subject property near a steep slope (exceeding 15%)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the subject property near or bounded by a body of water?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the subject property within 800m of a provincial highway?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the subject property near a Confined Feeding Operation?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance: _____
Is the subject property within 1.5km of a sour gas facility?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance: _____
Is the subject property within 1.5km of a sewage treatment plant/lagoon?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Distance: _____
Is the subject property immediately adjacent to the County boundary?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, the adjoining municipality is: _____	

DEVELOPMENT PERMIT APPLICATION FORM

Our File Number: _____	Roll Number: _____
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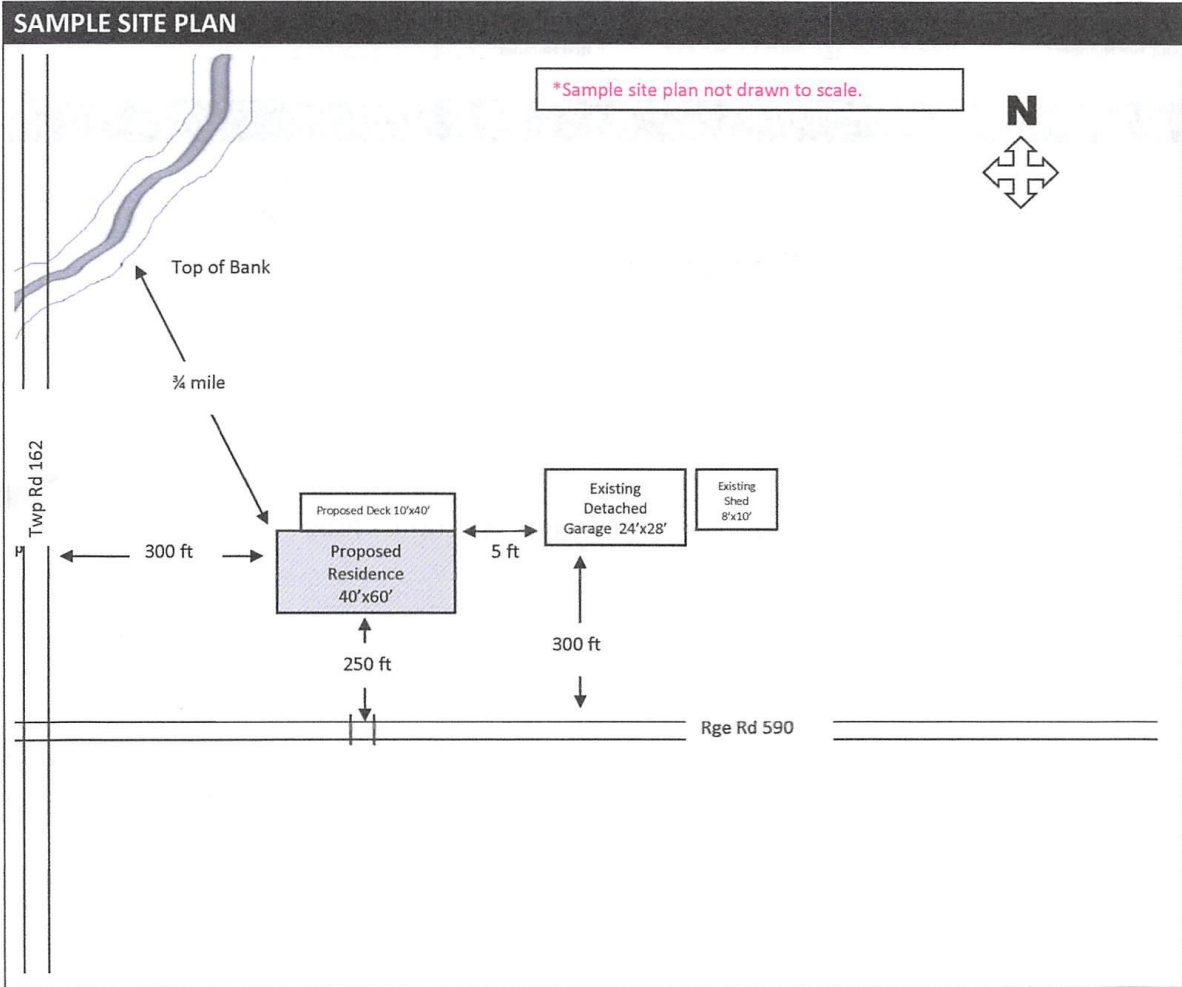
DEVELOPMENT PERMIT SITE PLAN



Please see drawings within attached Activities Plan.

DATE:	SIGNATURE OF APPLICANT:
DATE:	DEVELOPMENT AUTHORITY:

DEVELOPMENT PERMIT APPLICATION FORM



INCLUDE THE FOLLOWING INFORMATION IN YOUR SITE PLAN:

<ul style="list-style-type: none"> ✓ Location of existing buildings. ✓ Location of proposed buildings. ✓ Location of existing access (es). ✓ Location any proposed access (es). ✓ Location of any abandoned wells. 	<ul style="list-style-type: none"> ✓ Front, Side and Rear Yard setbacks from <u>property lines</u> in meters/feet. ✓ Location of any water bodies on subject property. ✓ Location of driveway. ✓ All developed/undeveloped road allowances. 	<ul style="list-style-type: none"> ✓ Indicate the North direction. ✓ Location of all right-of-way and easements within or abutting the subject property.
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Attachment D: January 2020 Danyluk Pit Activities Plan prepared by Green Plan Ltd.



Danyluk Pit – Class I Activities Plan

SW 08-60-15 W4M

Northeast of Smoky Lake, Alberta

Project 2018. 055

January 2020

Prepared for:

Dale Croswell Construction Company Ltd.



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Prepared By



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APPENDIX

Appendix 1: Drawings

- Figure 1: Project Location
- Figure 2: Site Development and Operating Plan
- Figure 3: Biophysical and Land Use Plan
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- Figure 6: Cross-sections Area A
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- Smoky Lake Ownership Map
- Alberta Soil Information - AGRISID
- FWMIS Search and ACMIS Search
- Canada Land Inventory
- Water Well Logs
- Land Title Certificate
- Landscape Analysis Report (LAR)
- ABADTA Search
- Excerpt from Smoky Lake Land Use Bylaw
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- Alberta Geological Report
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- Schedule 1 – Registration Application
- Schedule 2 – Activities Plan
- Schedule 3 – Security Estimate
- Landowner Consent

1. INTRODUCTION

1.1 PROJECT OVERVIEW

Green Plan Ltd. Environmental Consulting (Green Plan) was retained by Stony Valley Contracting Ltd (Stony Valley – The Applicant) to prepare a Class I Activities Plan for a proposed sand and gravel development, referred to herein as the ‘Danyluk Pit’ or ‘Project’.

The Project is located on private land approximately 20 km northeast of Smoky Lake on Range Road (RR) 155 within SW-08-60-15 W4M (Figure 1 and Appendix 1 Figure 1). Municipal jurisdiction is County of Smoky Lake. Current land use is a mix of agriculture cropland and forested area. There are no known water features on the property except for a remnant ephemeral drainage (Figure 2 and Appendix 1).

The total footprint of the development area is 32.5 hectares and the estimated sand and gravel reserve is 644,000 m³ respectively. Stony plans to sequence the extraction in four phases over a period of 7 to 10 years (Figure 2 and Appendix 1). The main site activities will include crushing, screening and stockpile storage. No material washing will occur onsite.

The processed sand and gravel will be delivered to Edmonton, Sherwood Park and the Fort Saskatchewan area. The main haul route will be RR 155 (south), Township Road (TWP) 595 (west), RR 160 (south), and Highway 28.

Pending municipal and provincial approvals, Stony anticipates commencing operations in late 2020.

Key supplementary documents needed to support this application include;

- Schedule 1 – Registration Application – included in Appendix 4
- Schedule 2 – Activities Plan – included in Appendix 4
- Schedule 3 – Security Estimate - included in Appendix 4
- Letter of Consent with Landowner – To be acquired
- County of Smoky Lake Development Permit – To be acquired

No *Water Act* approvals are anticipated, given the Project location and proposed site activities.

Note: Danyluk pit was originally registered as a Class I Pit under Stony Valley Contracting Ltd. (registration 460709-00-00). In August 2023, the registration of Danyluk pit was transferred to Dale Croswell Construction Company Ltd. All references to “Stony Valley Contracting Ltd.”, “Stony Valley”, and “the Applicant” mentioned throughout this report should be interpreted as the current registration holder, which is Dale Croswell Construction Company Ltd.

Figure 1. Project Location

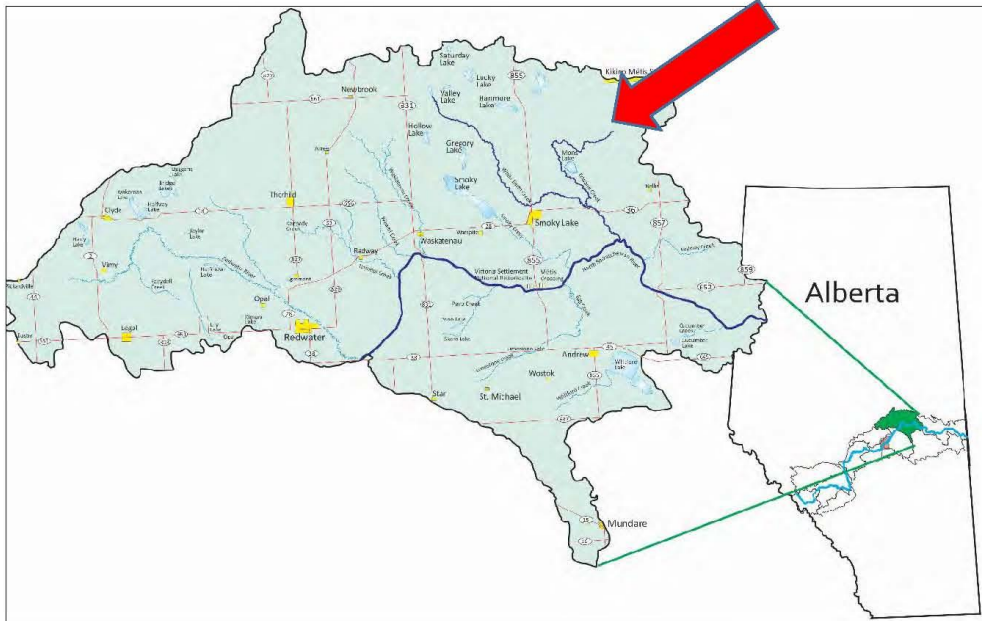
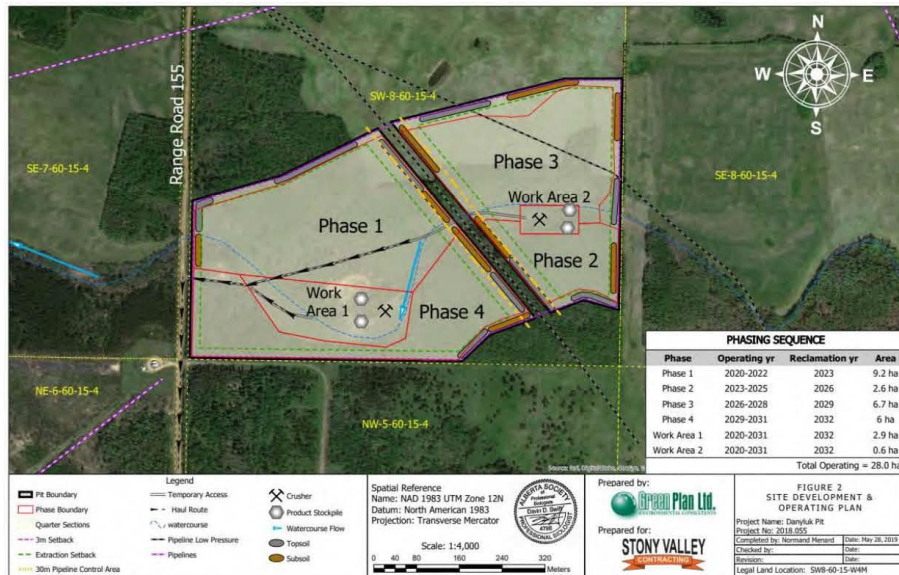


Figure 2. Site Development and Operating Plan



1.2 PURPOSE OF THE ACTIVITIES PLAN

The main purpose of the Activities Plan is to support Registration of the pit under the *Alberta Code of Practice for Pits*. In Alberta, pits on private land that are greater than 5 ha must be registered with AEP*. The Activities Plan will also support Stony Valley's application for a development permit pursuant to Section 2.7 of Smoky Lake Bylaw 1272-14.

The *Guide to the Code of Practice for Pits* was used as the main Terms of Reference. According to the Guide, the Activities Plan must contain sufficient information for AEP to verify that the Project will be developed and reclaimed in a manner that meets government standards and regulations.

Accordingly, the Activities Pit Plan includes the following information:

- Description of Biophysical Conditions and Regulatory Requirements
- Description of the proposed Mine Plan, including the approach to resource extraction, mine progression, and material processing, handling and hauling;
- Description of the proposed Reclamation Plan including the closure landscape and reclamation practices to be employed;
- Description of how the Activities Plan will mitigate environmental impacts and ensure compliance.
- Reclamation security calculation;

Note: The following definition from the Section 4.1 Part 1(b) of the Guide has been used to delineate the Class 1 pit boundary. **Current Pit Size: Pit size includes the excavation where aggregate is being removed, any areas where reclamation material has been salvaged and stockpiled, and all the areas described by the term infrastructure as defined in the Activities Designation Regulation. Areas disturbed while the pit was a Class II pit must also be reported here. Pit size should be determined through a survey. The survey will assist with developing the site drawings. **Activities Designation Regulation:** "infrastructure" means any works, buildings, structures, facilities, equipment, apparatus, mechanism, instrument or machinery belonging to or used in connection with a mine, oil production site, pipeline, quarry, peat operation, coal processing plant or transmission line, and includes any storage site or facility, disposal site or facility, access road, haul road, railway or telecommunication line.*

1.3 REPORT ORGANIZATION AND USE

The Activities Plan has been written and organized to follow the format specified in the *Guide to the Code of Practice for Pits* (The Guide) (*Alberta Environment 2004*). Some modifications have been made to facilitate better use of the Plan by the pit operator.

Reference is made to specific Sections in the Guide at the starting of each Chapter, to assist the reader in cross referencing information with the *Guide*.

The information in the Activities Plan has been organized under the following headings:

- **Section 1.0** (*Introduction*) provides information on purpose, location, scope, content, and the Applicant.
- **Section 2.0** (*Applicant and Landownership*) briefly describes land use, oneship, and jurisdiction.

- **Section 3.0** (*Biophysical Assessment*) describes existing land uses and environmental resources along with related planning considerations.
- **Section 4.0** (*Regulatory Assessment*) evaluates government and municipal approvals that will and may be required for the proposed works.
- **Section 5.0** (*Extraction and Reclamation Plan*) describes the proposed mining and material processing activities and proposed measures to return the site to Equivalent Land Use.
- **Section 6.0** (*Compliance Management Plan*) describes the measures the operator will take to monitor and report compliance with the Activities Plan and other applicable requirements.
- **Section 7.0** (*Limitations and Assumptions*).
- **Section 8.0** (*Closure and Signature of Commitment*).

Appendix 1 includes Figures, Appendix 2 includes Site Photos and Supplementary Reports; Appendix 3 includes Record Searches; and **Appendix 4 includes Applications, Forms and Checklists.**

1.4 QUALIFICATIONS

The main author of the Activities Plan is Green-Plan Ltd. Founded in 1989, Green Plan Ltd. is an innovative/award-winning Edmonton-based environmental consulting firm. Our core business and main strength is environmental and regulatory planning for land development projects related to: Municipal Infrastructure, Subdivision Development, Road & Rail Infrastructure and Surface Material Mining (Sand & Gravel). Green Plan has extensive experience in environmental planning for the sand and gravel industry. In addition to completing approvals for private operators and municipalities, Green Plan has participated in several government policy initiatives and is the main author of the *Guidelines for Acquiring Surface Material leases on Crown Land*.

2. APPLICANT AND LAND OWNERSHIP INFORMATION

The information in this Section is meant to satisfy Sections 2.0, 3.0 and 9.0 of the Guide (AEP 2004).

Stony Valley (The applicant) is a Fort McMurray based industrial contractor with over 20 years’ experience providing, aggregate supply and custom crushing services.

The property owners of the proposed development are Larry and Lorraine Danyluk. A Letter of Consent and Lease Agreement will be formulated with the Danyluk upon their review and acceptance of the Activities Plan.

Table 1. provides important contact information related to the Class I Pit application. A copy of the Certificate of Title is provided in Appendix 2.

Table 1. Applicant, Environmental Consultant and Pit Contract Information

Role	Contact Details Information	Contact Person	Responsibility
Land Owner	Larry and Lorraine Danyluk Box 34, Smoky Lake Alberta T0A 3C0 Phone: 780-656-2370	Larry and Lorraine Danyluk-	Landowner
Applicant	Stony Valley Contracting 245 Taiganova Crescent, Fort McMurray, Alberta, T9K 0T4 Phone: 780-743-0527 Email: wwoodhouse@stonyvalley.ca	Wayne Woodhouse	Company Owner
Application Submission (Environmental Consultant)	Green Plan Ltd. 18931-111 Ave Edmonton, Alberta T5S-2X4 Phone: 780 455-4292 Email: dswift@green-plan.com	Grant Potolicki	Senior Environmental Planner (on behalf of Green Plan Ltd.)
Exploration Consultant	Spirit Path Consulting #102, 10715 124st NW Edmonton, AB T5M0H2 Phone: 780 718-2404 Email: spiritpathltd@gmail.com	Dean Zarudeneć	
Primary Pit Contact	Stony Valley Contracting 245 Taiganova Crescent, Fort McMurray, Alberta, T9K 0T4 Phone: 780-743-0527 E-mail: aglenen@stonyvalley.ca	Alex Glenen	Pit Foreman/Operational Contact
AEP Lands Officer	Regional Approvals Environment and Parks 1st fl Twin Atria Building 4999 - 98 Avenue Edmonton, AB, T6B 2X3 Phone: 780 427-6451 E-mail: stephen.abiove@gov.ab.ca	Stephen Abioye	WA / EPEA Approvals Team Lead

3. BIOPHYSICAL ASSESSMENT

This Section is meant to satisfy Section 6.0 of the Guide (AEP 2004) and as such provides a description of the important biophysical and Land Use features in the Project Area.

As a rule of thumb, the footprint of the Project (32.5 ha) was used as the main Study Area. Where warranted, a 1 km Study Area was applied to evaluate potential impacts to off-site impacts such as drainages, wetlands, water wells etc.

The information was derived by the following means:

- **Desktop Analysis:** Prior to site investigations government officials and the Stony Valley Operations Manager were contacted. These sources red flagged known environmental and land use features of importance in the area, in addition to any related concerns. Land use and natural features were identified through analysis of digital mapping, including topographical mapping, resource mapping and aerial photography. To conclude the desktop analysis, Green-Plan conducted a review of existing reports and government web-based record searches. Subsurface conditions including overburden and groundwater conditions were determined by drill logs and water well logs and published reports.
- **Personal Interviews.** Consultations with government, industry and surrounding landowners that are familiar with the subject site and related environmental/land use conditions.
- **Site Investigation:** Information obtained from the desktop review and interviews were confirmed and characterized in the field by a site reconnaissance conducted in July and August 2018. The scope of work included site observations of vegetation, drainage, wildlife, land uses and any other pertinent environmental observations. GPS waypoints were established at key features in the study area using a Garmin 62sc hand-held GPS unit. Features were documented with photographs and notes. The site investigation also included collecting and evaluating the quality and quantity of native topsoil is important for determining soil salvage, handling procedures and reclamation potential.

A Large-Scale Biophysical Drawing is provided in Appendix 1. Site Photos can be found in Appendix 2. Record searches can be found in Appendix 3.

3.1 LAND USE AND JURISDICTION

The Project Area is approximately 30% agriculture land (pasture) and 70% mainly native forestland. The agriculture land is located in the northeast quadrant and the forestland overlaps the remaining property. A small portion of the forested area (0.5 hectares) contains an unsurfaced road that leads to an abandoned sand and gravel excavation.

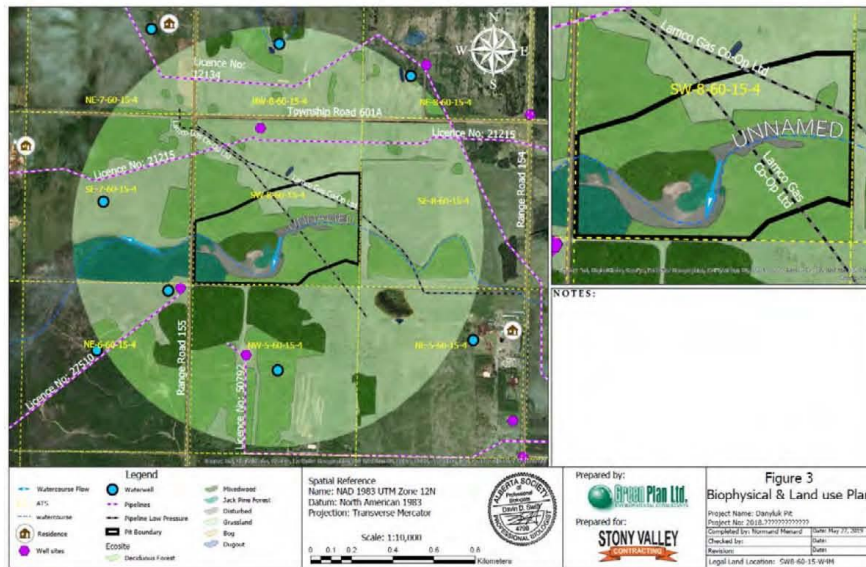
Notable land uses within a 1 km radius of the site are shown in Figure 3 and described below. The information is based on a review of the Certificate of Title, The County Land Ownership Plan, AbaData as well as ground verification (Related records can be found in Appendix 3);

- There are no known residences within 1 kilometer of the study area.
- a Natural Gas line and an overhead powerline run north-south along the right-of-way Range Road 155

- natural gas wells are located to the SW of the pit on the opposite side of Range Road 155
- two pipelines (Smoky Lake gas line, and AltaGas low pressure gas line) are located to the NE in the adjoining quarter section.
- AEP has records of 4 water well logs within a 1 km radius.

According to the current Land Use Bylaw the property is zoned as Agricultural Land District within Smoky Lake County Bylaw 1274/14.

Figure 3. Biophysical and Land Use Plan



3.2 TOPOGRAPHY AND DRAINAGE

Figure 5 shows the topography and drainage conditions in the project area.

Regionally the topography is hummocky, and drainage is towards the White Earth Sub watershed, a component of the North Saskatchewan Watershed. About 15 percent of the subregion is covered by wetlands, organic accumulations underlying 10 percent, and shallow peats or wet mineral soils underlying the remaining 5 percent. Soils typically found in the region are Orthic Gray Luvisols on medium textured Loam and Clay-Loam till on upper slopes and Dark Gray Luvisol on medium textured Loam and Clay-Loam on mid-slopes. Land use is mainly cropland.

Local conditions are similar. The landscape in the Project Area is hummocky and the relief ranges from 661 m asl at the lowest elevation to 687 m asl at the highest elevation. Higher terrain is found in the south and northeast corners of the Project Area.

The only known surface water feature observed on the property is an unnamed and unclassified dry ephemeral draw that is aligned in an east to west direction in the south section of the Project (Figure 4). The field assessment found no indications of hydric soils or hydrophytic vegetation within the draw or elsewhere within the study area. The landowners Lori and Larry Danyluk were consulted on January 30 and confirmed that water no longer flows or ponds within the draw. Taking into account this information and the review of historical aerial imagery, it is Green Plans opinion that the ephemeral draw is no longer a functioning watercourse and as such is not governed by the *Water Act*

The closest named watercourse to the project area is Edwaud Creek (500 meters west), a tributary of White Earth Creek (See Figure 6). Based on the topography (Figure 5), most of the overland drainage in the Project Area is conveyed into the ephemeral, then west across RR 155 through a culvert, into a wetland complex associated with Edwaud Creek.

Figure 4. Topography and Drainage

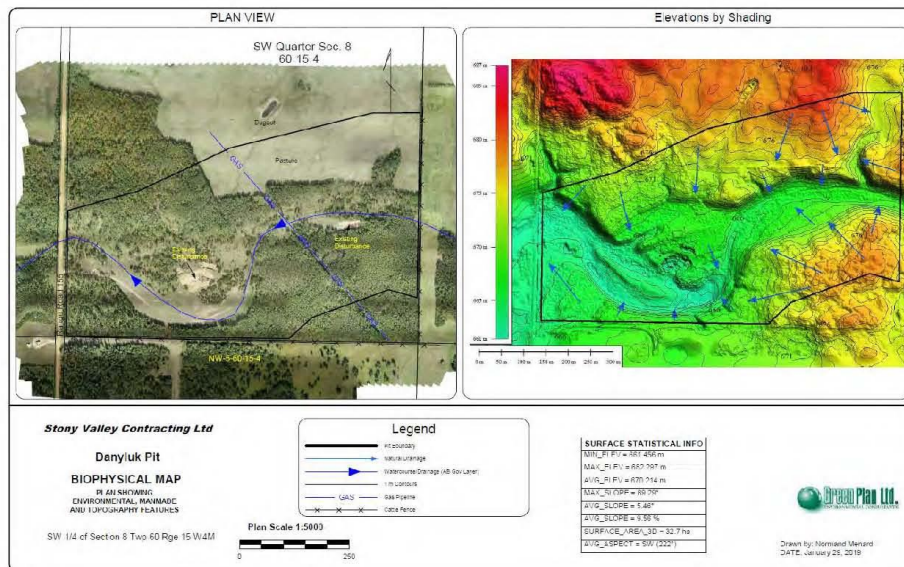
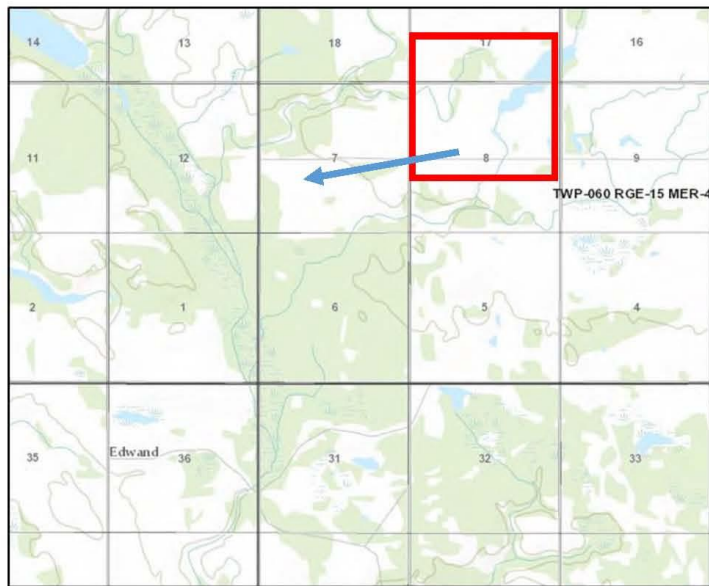


Figure 5. Regional Drainage



3.3 VEGETATION, FORESTRY AND WEEDS

Regionally the Project Area is located in north central Alberta about 150 kilometers northeast of Edmonton. This part of the Province overlaps the Dry Mixedwood Subregion of the Boreal Forest Natural Region (NRC 2006). The Central Mixedwood Natural Subregion is the second largest Natural Subregion of Alberta. It is characterized by undulating plains, aspen dominated forests, cultivated landscapes, with wetlands in low lying areas. Native vegetation consists of aspen forests with a shrub layer of rose (*Rosa acicularis*), beaked hazelnut (*Corylus cornuta*), low- bush cranberry (*Viburnum edule*), and other species (NRC2 006). Less common forest types occurring in this subregion include balsam poplar (*Populus balsamifera*), white spruce (*Picea glauca*), and jackpine (*Pinus banksiana*).

Local vegetation was sampled using 1m by 1m plots at corresponding soil plot locations. Each plot was assessed for percent cover for species at each stratum (ground, shrub and tree); dominant vascular species; percent cover of total vascular species, litter, bare ground; and open water. Crown Closure Class, which is a visual observations of canopy density, was estimated as using the Alberta Vegetation Inventory Interpretation Standards Version 2.1.1 (Table 2) (ASRD 2005).

Vegetation communities observed in the Project Area are shown in Table 2. A description of each community type is provided below.

- **General Conditions:** The northern section of the study area is mainly comprised of grassland vegetation; however, it largely lies outside its boundary. The study area is predominantly comprised

of deciduous forest with patches of coniferous and mixedwood forest. A portion of the area within the boundary of the study area has been previously disturbed from agriculture practices, pipelines, and the municipal road system.

- **Grassland (VC1):** VC1 occupied approximately 40 percent of the study area, however it was largely found outside of the boundary of the study area. As it was most likely used for grazing, grass species constituted the highest percent cover. Other species that prefer dry, open areas such as: pussytoes (*Antennaria spp*), strawberry (*Fragaria virginiana*) and dandelion (*Taraxacum officinale*) also made up a small percentage of the vegetation community. Approximately 10 to 15 percent of the ground was bare.
- **Deciduous Forest (V2):** A majority of the study area was categorized as deciduous forest with a crown closure of C. The dominant tree species was trembling aspen (*Populus tremuloides*). Alder (*Alnus spp*), bunchberry (*Cornus canadensis*), twinflower (*Linnaea borealis*) and prickly rose (*Rosa acicularis*) were amongst some of the plant species found.
- **Coniferous Forest (V3):** Tree species within this community were predominantly jack pine (*Pinus banksiana*) with crown closure of B. as rose and bunchberry. The understory within VC3 was predominantly comprised of prickly rose bunchberry, lingonberry (*Vaccinium vitis-idaea*), and blueberry (*Vaccinium myrtilloides*).
- **Mixedwood (V4):** VC2 was sparsely occupied by jack pine, interspersed with trembling aspen and a crown closure of A.
- **Disturbed (V5):** VC5 encompassed land that had been previously disturbed due to excavation and/or other commercial activities Evidence of an undeveloped road was apparent starting at the southwest side of the boundary and followed the ephemeral watercourse to the east side of the boundary. The vegetation composition in VC5 was likely a result of these disturbances. In the lower section, vegetation cover was predominately grass species and bare ground, while in the upper east part of this area, scattered jack pine and trembling aspen were found.
- **Weeds:** No weeds were observed within the area of the Project.

Table 2. Vegetation Communities

Vegetation Community ID	Community	Size (Ha)
VC1	Grassland	27.44
VC2	Deciduous Forest	25.08
VC3	Coniferous Forest	3.55
VC4	Mixedwood	2.50
VC5	Disturbed	4.28

3.4 SOILS AND LAND CAPABILITY

Based on the Alberta Soils Information Viewer (ASIC 2001), the study area comprises two main soil polygons (ID. 21214 and 21626). Each polygon consists of Orthic Gray and Dark Gray Luvisols on medium textured Loam and Clay Loam. Polygon 21214 exhibits a land suitability rating of 3HT (8) – 4MT (2, with hummocky,

medium relief landforms and a limiting slope of 9% (H1m). Polygon 21626 exhibits a land suitability rating of 3HT (8) - 4MT (2), with soils that are coarser textured than dominant or co-dominant soils and hummocky medium relief landforms with a limiting slope of 9% (H1m).

According to the Agricultural Regions of Alberta Soil Inventory Database (AGRASID), the project is dominated by Orthic Gray Luvisol on medium textured Loam and Clay-Loam till on upper slopes and Dark Gray Luvisol on medium textured Loam and Clay-Loam on mid-slopes. Polygon 21214 includes soils that are coarser textured, and Polygon 21626 includes poorly drained soils. AGRASID soil reports can be found in Appendix 2

Information to evaluate soils in the immediate Project Area was obtained by conducting a soil survey which occurred in July 2018. The soil survey was conducted in accordance with a SIL 1 investigation as specified in the Alberta Soil Survey Handbook (Coen 1987). The program included advancing 8 hand augured test holes throughout the 35 hectares (maximum depth 40 cm bsf). Portions of the surrounding landscape were also analyzed to confirm soils depths in support of reclamation objectives.

Soils were examined within each observed vegetation community. Depth, horizon, texture, color, and presence of redox features were recorded. Soils were classified using the 10YR Munsell Soil Colour Chart. The location of all soil pits was noted, and pictures of soils were taken (Appendix 2). Soil information was also obtained from the aggregate exploration logs.

The main findings are summarized below:

- The main soil profile is Orthic Gray Luvisol containing a Dark Brown/Grayish Brown Ah/Ahe horizon and a mineral B horizon. This profile is comparable to the formation identified in the records review (ASIC 2001).
- The texture of topsoil was found to range from Sand to Sandy Loam to Sandy Clay Loam.
- Subsoils varied from Sand to Sandy Loam to Sandy Clay
- The average thickness of the topsoil (A and B Horizon) is 27 cm. Subsoil or C horizon depth is 37 cm.

According to the Agricultural Capability of Alberta map on the CanSIS website the CLI capability for agriculture is predominantly Class 6 with subclass M polygons. Soils that are rated as Class 6 are capable of producing perennial crops only, and improvement practices are not feasible.

The Test hole locations are shown in Figure 7 (also in Appendix 1). The main results of the investigation are summarized in Table 3.

Figure 6. Test Hole Location

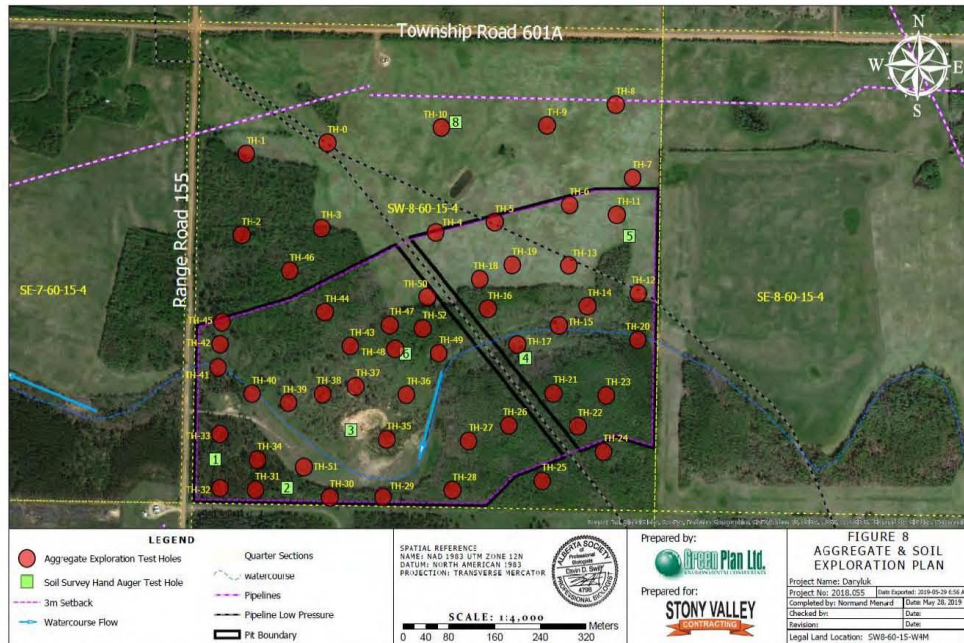


Table 3. Soil Information

ID	Soil Pit	UTM		Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color
		Eastin g	Northing							
Plot 1	1	420010	6002773	Luvisolic	Orthic Gray Luvisol	1	Ah	0-2	S	Very Dark Grayish Brown 10YR 3/2
							A	2-10	S	Dark Brown 10YR 3/3
							B	10-22	S	Very Pale Brown 10YR 7/4
							C	>22	S	Brownish Yellow 10YR 6/8
Comments *Augered to resistance @30cm										
^a A = Forms at or near the surface in the zone of leaching or eluviation. Ah = Mineral A horizon enriched with organic matter. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons. ^b S = Sand										
ID	Soil Pit	UTM		Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color
		Eastin g	Northing							
						1	Ah	0-2	S	Very Dark Grayish Brown

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Plot ID	Soil Pit	UTM		Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color		
		Eastin g	Northin g									
Plot 2	2	42013 5	6002725	Luvisolic	Orthic Gray Luvisol				S	10YR 3/2		
										A	2-10	Dark Brown 10YR 3/3
										B	10-22	Very Pale Brown 10YR 7/4
C	>22	Brownish Yellow 10YR 6/8										
Comments		*Augered to resistance @30cm *Transition to deciduous forest										
^a A = Forms at or near the surface in the zone of leaching or eluviation. Ah = Mineral A horizon enriched with organic matter. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons. ^b S = Sand												
UTM												
ID	Soil Pit	Eastin g	Northin g	Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color		
Plot 3	3	42024 7	600282 2	Luvisolic	Orthic Gray Luvisol	1		Ae	0-20	S	Dark Brown 10YR 3/3	
								B	20-40	S	Brown 10YR 5/3	
								C	>40	S	Yellowish Brown 10YR 5/4	
Comments												
^a Ae = A horizon characterized by eluviation of clay, Fe, Al and Fe combined with organic matter. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons. ^b S = Sand												
UTM												
ID	Soil Pit	Eastin g	Northin g	Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color		
Plot 4	4	42055 1	6002942	Luvisolic	Orthic Gray Luvisol	1		Ah	0-5	SL	Very Dark Brown 10YR 2/2	
								B	5-20	S	Light Yellowish Brown 10YR 6/4	
								C	-	-	-	
Comments		*Augered to resistance at 20cm										
^a Ah = Mineral A horizon enriched with organic matter. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons. ^b S = Sand, SL = Sandy Loam												
UTM												
ID	Soil Pit	Eastin g	Northin g	Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color		
Plot 5	5	420732	6003146	Luvisolic	Orthic Gray Luvisol	1		Ah	0-5	SL	Dark Brown 10YR 3/3	
								Ap	5-28	SL	Dark Gray 10YR 4/1	
								B	28-36	SC	Gray 10YR 6/1	
								C	>36	SC	Brown 10YR 5/3	
Comments		*Disturbed agricultural soils *Augered to resistance @45cm *Faint mottling in the C horizon										

^aAh = Mineral A horizon enriched with organic matter. Ap = Mineral horizon A that has had an anthropogenic impact, such as cultivation or logging. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons.
^bSL = Sandy Loam, SC = Sandy Clay

UTM											
ID	Soil Pit	Easting		Northing	Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^e _b	Munsell Color
Plot 6	6	420336	6002952	Luvisolic	Orthic Gray Luvisol	1	LFH	0-7	-	-	
							Ah	0-14	SCL	Grayish Brown 10YR 5/2	
							B	14-18	SL	Black 10YR 2/1	
							Cgj	18-40	SC	Pale Brown 10YR 6/3	
Comments	* Large amount of woody debris in LFH *Augered to resistance @ 40cm										

¹LFH = Top organic layer that consists of Litter (identifiable plant material), Fermentation (decomposition of plant material) and Humus (well-humified plant material). Ah = Mineral A horizon enriched with organic matter. B = Horizon formed by accumulation of material removed from Ae horizon or by alteration of the parent material. Cgj = C horizon characterized by gray colors, or prominent mottling, or both, indicating permanent or periodic intense reduction. j is used to denote an expression of, but failure to meet, the specified limits of the suffix it modifies.
^bSL = Sandy Loam, SC = Sandy Clay, SCL = Sandy Clay Loam

UTM											
ID	Soil Pit	Easting		Northing	Series	Subgroup	Slope (%)	Horizon ^a	Depth (cm)	Texture ^b	Munsell Color
Plot 8	7	420429	6003336	Luvisolic	Orthic Gray Luvisol	1	LFH	0-2	-	-	
							Ah	0-5	SCL	Dark Grayish Brown 10YR 4/2	
							Bm	5-33	SC	Grayish Brown 10YR 5/2	
							C	-	-	-	
Comments	*Reached resistance at 33cm										

¹LFH = Top organic layer that consists of Litter (identifiable plant material), Fermentation (decomposition of plant material) and Humus (well-humified plant material). Ah = Mineral A horizon enriched with organic matter. Bm = A mineral horizon slightly altered by hydrolysis, oxidation, or solution, or all three to give a change in color or structure, or both. C = This horizon is comparatively unaffected by the pedogenic processes operating in A and B horizons.
^bSC = Sandy Clay, SCL = Sandy Clay Loam

3.5 GEOLOGY AND GROUNDWATER

The bedrock overlapping the Project Area is within the Belly River Group; consisting of fine- to coarse-grained sandstone, grey to brown carbonaceous siltstone, coal, and marginal marine to nonmarine (Source: Bedrock Geology of Alberta (Prior et. al. 2013),(Appendix 2). The subsurface below the topsoil layer contains mainly sand and gravel with corresponding thickness of 1.4 to 2.3 m bsl respectively. The data is based on data from the aggregate exploration program which consisted of 42 test holes and 15 excavation pits installed at a maximum depth of 15 and 2.6 m bsl respectively. The bottom of the deposit was not found at some locations.

Groundwater was not intercepted during the exploration program indicating that the groundwater table is below 20 m bsl which was the maximum depth of the exploration program. The AEP Groundwater Well Registration Database had records 4 groundwater water wells within a 1 km radius of the project (Appendix

3) and none within the Project Area. The closest water well (Well ID 280442) is located approximately 100 meters SW of Range Road 155. The static water level was not provided in the log. The direction of groundwater flow has not been verified; however, it is suspected to be south west in line with the generally slope of the land.

3.6 WILDLIFE

No wildlife species were historically found within a 3 km radius of the pit, as per data obtained from Alberta Environment and Parks (AEP) Fish and Wildlife Information Management System (FWIMS) retrieved January 24, 2019 (Appendix 3).

Note: the FWIMS data accessible from the site does not represent a complete record of all fish and wildlife observations available. Information accessible through the site is not intended to be a definitive statement on the presence, absence, or status of a species within a given area, not as a suitable substitute for on-site surveys.

During the field assessment conducted on September 11, 2018, incidental wildlife observations/evidence included a cavity nest sighting, and unknown songbird and woodpecker activity.

Due to the diversity and density of vegetation, the study area may serve as viable habitat for some forms of wildlife. For ungulates, the presence of forest stands of various seral stage as well as regeneration areas provide both browsing material and visual, thermal shelter. The rich understory in many places provides visual and thermal shelter for a variety of small mammals, as well as for predators. The range of tree cover and general structural (vertical and spatial) complexity of the ecosystem would foster a high degree of biodiversity for birds.

Most migrant bird species in Canada are protected under the *Migratory Birds Convention Act* (MBCA). Compliance through mitigation strategies is required. The MBCA protects against the destruction or disturbance of breeding migratory birds and their nests. Alberta's *Wildlife Act* regulates and protects wildlife and wildlife habitat. In addition, under the *Wildlife Act*, the terms 'Endangered' and 'Threatened' are reserved for the specific case where species have been formally or legally identified as such. Wildlife species considered to be 'Endangered' or 'Threatened' are afforded legal protection against harm. Compliance with the *Wildlife Act* is done through mitigation strategies. In general, a project shall not disturb or destroy a house, nest or den of prescribed wildlife or a beaver dam in prescribed areas and at prescribed times as noted in the Regulations. Alberta's *Wildlife Act* protects the nests of most species not covered under the MBCA, such as gamebirds and birds of prey.

Owls can nest as early as February, and cavity nesting birds such as woodpeckers may initiate nest building in March. Therefore, nest sweeps for active nests can be required starting in February. Waterfowl also nest relatively early and can be on active nests in late March to early April. Most migratory birds start courtship and nest building by late May and are done nesting by mid-July. Birds on their second or third broods and late nesting species can have active nests through August. Given the above, the most appropriate time to clear vegetation and be in compliance with the MBCA and Alberta's *Wildlife Act* is during a period between September 1 and January 31.

The site is subject to the *Migratory Birds Convention Act* which prohibits disturbances to nesting birds. Nesting periods within this region are typically between **April 15th to August 31th** for the conservation of migratory birds and the protection of their eggs. As such, any clearing of vegetation during the breeding season should be avoided or requires the employment of a qualified biologist to verify that no nesting migratory birds are harmed, or harmfully disturbed.

3.7 HISTORICAL RESOURCES

According to the Alberta Culture database, the site is not located in an area with known Historic Resource Values (i.e. HRV 5 -1) (Government of Alberta 2011)(Appendix 3). No evidence of buildings or historic feature was observed during the site inspection.

3.8 ALBERTA CONSERVATION INFORMATION MANAGEMENT SYSTEM (ACIMS)

A search of ACIMS was completed on July 24, 2018 (AEP 2017). No Sensitive or Non-Elements have been observed or are located within the searched section of land (i.e., sensitive species, protected areas, or crown reservation/notations) (Appendix 3).

3.9 ENVIRONMENTALLY SIGNIFICANT AREAS (ESA)

The project does not fall within an area that is classified as an ESA (i.e., ESA Score >0.189; Table 2). Results from the search are displayed below in Table 5.

Table 4. ESA Scores

LSD	CR1 SUM	CR2 SUM	CR3 SUM	CR4 SUM	ESA SUM	ESA (Y/N)
SW 08-60-15 W4M	0.0000	0.0000	0.0275	0.0900	0.1175	NO

4. REGULATORY ASSESSMENT

This Section is provided to satisfy Section 8.0 of the Guide. It includes a review of existing and potential government approvals and licenses associated with the Project and Project Area.

4.1 EXISTING AEP REGULATORY RECORDS

A record query of the AEP Authorization Viewer for SW 08 60 15 was conducted on May 28th 2019. The authorization viewer contains records issued under the *Water Act* and *Environmental Protection and Enhancement Act* including but not limited to approvals, licences, registrations, authorizations, permits and certificates. In this case, the following record was found:

- Document 00167515-00-00 SMOKY LAKE/REGISTRATION/DANYLUK LARRY - F00167515 is held by Larry Danyluk, under the provisions of the Water Act. This Registration is currently issued as of Feb. 13, 2003 and does not expire.

4.2 PROJECT RELATED REGULATORY REVIEW

Table 6 provides a description of Federal, Provincial, and Municipal regulatory requirements typically associated with gravel pit operations in Alberta along with an assessment of applicability to the Project.

Column 7 identifies the directive; Column 2 describes the purpose of the directive relative to sand and gravel operations; and Column 3 describes how the directive will be considered in the development and implementation of the of the Danyluk Pit Activities Plan.

Table 5. Regulatory Assessment

DIRECTIVE	DESCRIPTION	PLANNING CONSIDERATIONS
PROVINCIAL REQUIREMENTS		
<i>Registration under the Code of Practice for Pits</i>	The Code of Practice, under the Conservation and Reclamation Regulation, lists the requirements for pits on private land. Pits on private land in Alberta are divided into two classes: Class I Pits: greater than or equal to 5 ha on private lands and are subject to the requirements of the <i>Code of Practice (COP) for Pits</i> or an existing approval issued under the <i>Environmental Protection and Enhancement Act</i> (EPEA) as well as the requirements of the Act and the <i>Conservation and Reclamation Regulation</i> . Class II Pits: Less than 5 ha on private land. They are subject to the requirements of the Act and the <i>Conservation and Reclamation Regulation</i> .	The Stony Valley pit is over 5 hectares and is therefore subject to the Code and must be registered as a Class 1 Pit.
<i>Water Act</i>	Regulates the allocation, protection and conservation of water. A planned activity that may affect the land or vegetation under or around a water body or affect the location, flow or quality of the water or the aquatic environment would require an Authorization from AEP. Applicable activities include dewatering, diversion of water, changes to drainage, impacts to surface water and wetlands, interaction with groundwater, use of processes water from natural sources etc.	Stony will not be washing gravel on site, diverting water or creating end pit lakes. Accordingly, related Water Act approvals are not required. Stony Valley is proposing dry pit excavation throughout the life of the pit. Therefore, a hydrological assessment was not completed. In the event groundwater is encountered, they are to cease operations and have an assessment completed.

		As stated in Section 4.1.3, there was once an ephemeral watercourse running through the pit area, however it has been deemed no longer functional, and therefore, an approval for disturbances to watercourses is not required, nor is a license for the diversion of water under the Water Act.
Public Lands Act	Requires approvals for activities taking place on public land, under the administration of AEP, as well as the bed and shores of all permanent watercourses and water bodies.	The Pit is located on private land and is not subject to the <i>Public Lands Act</i> . There are no known permanent watercourses and waterbodies within the pit subject to crown claim ability.
Historical Resources Act	Purpose of the act is to preserve, protect, and present historical and archeological resources of significance.	According to the Alberta Culture database, the site is not located in an area with known Historic Resource Values (i.e. HRV 5 -1) (Government of Alberta 2011). Therefore, a Historic Resource Application is not necessary
Alberta Wildlife Act	Protects wildlife and wildlife habitat. In addition, under the <i>Wildlife Act</i> , the terms ‘Endangered’ and ‘Threatened’ are reserved for the specific case where species have been formally or legally identified as such. Wildlife species considered to be ‘Endangered’ or ‘Threatened’ are afforded legal protection against harm.	Stony Valley will make all efforts not to disturb or destroy a house, nest or den of prescribed wildlife, or a beaver dam in prescribed areas and at prescribed times as noted in the Regulation. Vegetation clearing will not take place during January 31 – September 1, to prevent adverse impacts to resident wintering or migratory birds.
Alberta Species at Risk Act	Alberta has a Species at Risk Program, which was initiated as a response to the province’s commitment to the Accord for the Protection of Species at Risk in Canada. Accordingly, operators are required to identify species at risk that may be impacted by the project and take the necessary measures to mitigate any adverse impacts.	The likelihood of an adverse impact occurring to species at risk from the project is considered low, given the information identified in the biophysical overview Vegetation clearing will not take place during January 31 – September 1, to prevent adverse impacts to overwintering and migratory birds.
Alberta Weed Control Act	This Act governs the control of noxious and prohibited noxious plant species or weeds. Clubroot has become a big problem. The Best Management Practices from Alberta Agriculture and Forestry are designed to help minimize the spread of clubroot. Some strategies for clubroot prevention include using resistant seed varieties, rotating crops, controlling volunteer canola and other hosts, and cleaning equipment that enters a field. The local municipality may have additional policies surrounding clubroot enforcement that provide a further level of protection.	Stony will implement a weed control program in accordance with The Best Management Practices from Alberta Agriculture and Forestry.
Environmental Protection and Enhancement Act	EPEA prohibits the undertaking of activities which may impact the environment unless an approval under the Act is obtained. In order for an approval to be granted, a reclamation plan must be in place which dictates how the impacted area will be returned to an equivalent land use capability.	It is Stony Valley’s intent to develop the Danyluk Pit into a Class I Pit, which does require registration from Alberta Environment and Parks.
Alberta Transportation	A permit from Alberta Transportation is required for roadside developments within the development control zone (300 meters from provincial right-of-way or within 800 meters of the centerline of a highway and public road intersection).	The surroundings road system is under Municipal Jurisdiction. Nevertheless, communication with Alberta Transportation

		will occur in relation to provincial jurisdiction roads and any additional requirements.
<i>First Nations Consultation</i>	Consultation with First nations are required as part of the approval process for all dispositions on Crown Land. It intended to help parties understand and consider the potential adverse impacts of anticipated crown decisions on the exercise of Treaty rights and traditional uses.	The subject development is located on private land and therefore consultation is not required.
FEDERAL REQUIREMENTS		
<i>Migratory Bird Convention Act (MBCA)</i>	The Act protects migratory birds, and it is an offense to “disturb, destroy or take a nest egg, or nest shelter” of a migratory bird.	The proposed project will require clearing of native vegetation during the site assessment, no trees were present within the pit boundary. At least some of the vegetation likely comprises nesting habitat for migratory birds. Applicable provisions of the Federal Migratory Birds Convention Act will be met by not clearing between January 31 and September 1.
<i>Species at Risk Act (SARA)</i>	The Act provides protection for the recovery of threatened and endangered species and encourages the management of other species to prevent them from becoming at risk.	No impacts are anticipated. As stated in the provincial (FWMIS) and federal (SARA) species searches, no listed species have been observed with the area of the Project.
<i>Fisheries Act</i>	Applies to disturbances to fish habitat and the deposition of deleterious substances into fish bearing waters.	The potential for disturbing a fish bearing watercourse through direct physical impacts and/or the introduction of deleterious substances is considered low. This is because there are no known fish bearing watercourses within or near the pit
MUNICIPAL REQUIREMENTS		
<i>Development Permit</i>	A development permit is required for the operation of the Pit from the County. Under the current Land Use Bylaw, the property is zoned as Agricultural under which aggregate removal and aggregate processing are considered discretionary use. The Activities Plan will be used to support Stony Valley’s application for a development permit. Through the development permit, the local municipality decides where pits may be located deals with issues such as hours of operation, buffers, noise, dust, haul routes, and traffic control (<i>AEP, 2004</i>).	In accordance to Bylaw 1272/14, a development permit will be obtained from Smoky Lake County. Stony will adhere to the permit requirements including those for hours of operation, buffers, noise and dust, and haul routes (5.4).
<i>Road Use Agreement</i>	The County will require Stony Valley to enter into a road use agreement prior to hauling aggregate material on RR 155, 160, and TWP RD 595 (Figure 2). Stony Valley will apply for this agreement under separate cover concurrent with the development permit and any other provincial authorizations associated with the pit.	Stony Valley shall enter a Road Use Agreement as per Smoky Lake County Bylaw 1272/14 for the provision of dust control (Section 5.4.1) and maintenance/upgrading of the municipal roads used as the haul route. (requirements outlined in Development Permit)
PRIVATE AND INDUSTRIAL		
<i>Pipeline and Utility Agreements</i>	Pipeline operating companies are required to have emergency Pipeline regulators implement regulations in the interests of protection of the pipeline and the environment, and the safety of the public, contractors, and the pipeline company’s employees. Within these regulations, the pipeline regulators have, in most jurisdictions, designated an area of 30 m on either side of a pipeline in which, subject to	The only pipelines within the vicinity of the excavation footprint are a low-pressure Gas Line operated by Smoky Lake County, and a gas line operated by AltaGas Utilities Ltd. Each is located to the NE of the project in the adjacent quarter section and thus are outside of the project boundary.

<p>exceptions for such things as normal farming activities, anyone proposing to conduct a ground disturbance must (a) ascertain whether a pipeline exists;</p> <p>(b) notify the pipeline company of the nature and schedule of the ground disturbance; A landowner wishing to cross over the right-of-way with anything larger than the usual agricultural equipment should discuss this with the company first and obtain permission to do so with a crossing agreement. Once the pipeline company has verified that it is safe, no further notice should be necessary. A crossing agreement is not necessary for continued crossing with regular farming equipment, but may be needed if there is a change in the use of the land necessitating larger equipment (i.e. gravel crushing equipment). When in doubt, a landowner should err on the side of caution and check with the company to ensure the safety of the pipeline.</p>	<p>Stony will consult the County and pipeline companies regarding mitigation.</p>
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5. EXTRACTION AND RECLAMATION PLAN

This section is meant to satisfy Section 4.0, 6.0 and 7.0 of the Guide and as such includes information on gravel mining, processing, storage and handling and transportation. It also describes the end landscape features that will be created as a result of sand and gravel development as well as the techniques that will be used to develop them. *The Alberta Lands Conservation and Reclamation Council Reclamation Research (e.g. RRTAC), Pit and Quarry Reclamation in Alberta, 1992* and other applicable regulatory documents were used as sources of information.

Related large-scale drawings are provided in Appendix 1.

5.1 PIT DESIGN AND ACTIVITIES

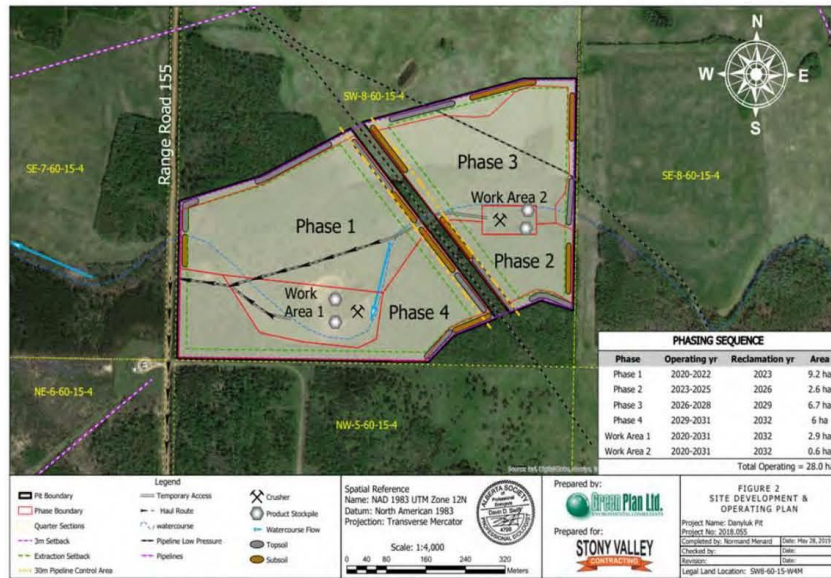
The layout and design of the proposed Danyluk Pit is shown in Figure 8 (Appendix 1). Pursuant to the *Guide*, the development area includes the proposed excavation areas and all related *infrastructure* as defined in the *Activities Designation Regulation*. Planned Infrastructure and activities are summarized below and discussed in more detail later in the Plan;

- **Development Area, Buffers and Setbacks:** The development area comprises 32.5 hectares. The boundary and size of the development area has been configured with consideration to the following setbacks and buffers a 400m setback from established residences (unless supported by an agreement). A residence is located west of Phase 3 (148 m from the study area); A 3-metre undisturbed property line buffer along all adjacent property boundaries in accordance with the County Bylaw. A self-imposed 3.0 m buffer along the top of slope (where needed) for topsoil storage and equipment access; and a 15 meters setback from the pipeline.
- **Extraction footprint:** The extraction footprint is 28 hectares or 88 percent of the development area.
- **Extraction setbacks:** A 13 meters extraction setback will be established in all phases. This setback was calculated based on the average depth of excavation (5 m) multiplied by half of the required slope (5) to achieve a 10:1 reclaimed slope. The extraction setback was then adjusted to the anticipated depth of overburden (average 1.2 meters). The Applicant will **not** implement the extraction setback because there are adequate volumes of reclamation material (overburden, fines, topsoil and subsoil) to replace the slopes.
- **Access and Internal Roads:** A 350-meter-long/10-meter-wide road internal road will be constructed to connect to RR 155. Stony Valley will utilize existing onsite approaches to access the site from RR 155. The road will connect to the material stockpile, weigh scale, and excavation area.
- **Material Stockpile Staging and Processing Areas:** The material staging, and stockpile areas will likely move as the excavation footprint advances. This footprint will comprise approximately 0.5 hectares.
- **Topsoil Stockpile Piles** The topsoil stockpiles will be located along the edge of the pit and in designated topsoil stockpile areas on undisturbed ground. A 3 meters self-imposed buffer will be applied to allow for storage space.
- **Water, Effluent and Waste:** Effluent and waste from the employee facilities will be contained in holding tanks and other suitable storage units and shipped off-site to a sewage treatment facility for

disposal. There will be no long-term storage of waste at the site. Domestic waste will be stored in wildlife proof containers and trucked off site on an as needed basis. Potable water will be brought to site by employees for their own consumption.

- **Power and Lighting:** It is intended that power at the site will be provided by a portable diesel-powered generator. Lighting will consist of portable light stands.
- **Fueling and Hazardous Materials:** Fuel such as gasoline and diesel will be stored onsite for operating equipment. It is anticipated that the fuel will be stored in 500 to 1,000-gallon above-ground double wall steel tanks. Small quantities of potentially hazardous materials (hydraulic fluid, lubricants) will be stored near the stockpile area and housed in leak proof containers with secondary containment. Spill kits will be available to address small spills should they occur.
- **Additional Facilities:** Additional facilities will include an office trailer and portable scale. A Sea-Can may be used for the safe storage of tools and equipment used in the maintenance and operation of the production equipment and facilities. The processing facility will be the site where daily fueling, lubrication and repairs may take place for all equipment. There may be minor occurrences of breakdowns away from the processing facility that will require equipment to be repaired in the field.
- **Parking, Security, Fencing:** All equipment including company vehicles will be parked at the processing facility in the current mine phase. Access to the site will be controlled by a locked security gate or berm. Road-use agreement conditions, winter road access and weight restrictions will be adhered to.

Figure 7. Site Development and Operating Plan



5.2 AGGREGATE MATERIAL BALANCE AND EXTRACTION METHODOLOGY

The estimated aggregate reserve is shown in Table 7. The average sand/gravel thickness is 3.5-meters which translates into a probable total aggregate resource of 644,000 m³. Reject material from crushing and unmarketable material is anticipated to be 10% of the gravel reserve

The extraction process will occur sequentially in 4 Phases over a 6-7-year lifetime (Figure 9). Stony anticipates extracting, on average 50 – 75 thousand tonnes per year pending market conditions.

Resource extraction will consist exclusively of retrieving sand and gravel beneath the surface materials. Average extraction depth will be 5 m, with maximum vertical extraction at 9.4 -meters bsl, which is anticipated to be at least 10 meters above the groundwater table. Landscaping (back sloping, contouring, and grading) will occur concurrently with mining to reduce the potential for erosion and ground instability.

Reclaimed surfaces, following backfill and final grading on average will be 10:1, to restore the area to Progressive reclamation will be undertaken in each Phase to restore the landscape as quickly as possible to equivalent land use.

The following sequential reclamation measures will be employed;

- Landscaping (back sloping, contouring, and grading) will be conducted concurrently with mining each Phase.
- Soil (topsoil and subsoil) will be replaced once final slopes are reclaimed in each Phase.
- Re-vegetation and final landscaping will commence no later than one year of completion of the mined-out phase, allowing existing seed banks to be directly placed. Depending on the time of year of topsoil placement, seeding may occur within the growing season to allow initial vegetative growth.
- The operating area for in pit haul roads will be reclaimed once the pit is exhausted of aggregate materials or, within one year after the stockpiles are removed.

Table 6. Aggregate Material Balance

Phase	Extraction Area (ha)*	Avg. Sand and Gravel (m ³) (3.5 m)
1	7.5	262,500
2	1.7	59,500
3	5.2	182,000
4	4.0	140,000
Total	18.4	644,500

*the areas of each phase were calculated based on the total boundary of each phase minus the area of extraction setback

5.3 EXTRACTION PROCESSING AND TRANSPORTATION

Stony Valley plans to process the aggregate on site with a crusher to produce various spec gravel products on site. No washing of product or asphalt production will take place on-site; the storage of foreign materials on this site will be prohibited. The material staging, and stockpile areas will likely move as the excavation footprint advances.

Once the aggregate is removed from the ground it will be delivered to the crusher (if dry) or, if the aggregate is wet (in contact with water), trucked / conveyed to a stockpile in the crushing and loading area (processing area) for processing the following year. The processing area will likely be located in an active or former extraction area (as close to mining activities as possible) to minimize traffic, noise, dust and visual impacts. The processing plant will be relocated to other extraction areas as mining progresses.

Once in the processing area, loaders will deliver the mined aggregate from the stockpile to the plant chutes, which will deliver aggregate to the initial screen deck where the rock material will be separated from the natural fines before continuing into a jaw crusher. Aggregate will then enter a cone crusher, followed by screening (with oversized returning to a cone for subsequent crushing) to produce a product that meets project / client specifications. The capacity of the crusher is expected to be approximately 3,000 tonnes per shift. At this time, no aggregate washing is expected to take place on-site.

On-site equipment will be diesel-powered, hydraulically operated wheel and track-mounted machines and may include; front-end loaders to feed the crusher; a hydraulic excavator to remove overburden, harvest raw material from extraction areas, load trucks, and/or backfill site; several off-highway trucks to transport (1) overburden to stockpiles and/or backfill site and (2) raw material from extraction areas to the processing area; and a track dozer to shape stockpiles and level fill at the extraction site.

Processed material will be hauled offsite to various clients. Stony Valley will utilize an existing approach to access the site from RR 155. An internal road will be development to connect to the material stockpile, weigh scale, and excavation area.

The proposed work areas and haul route is shown in Figure 8.

5.4 END LANDSCAPE DESIGN AND CONSTRUCTION

Each phase (beginning with Phase 1) will be reclaimed as soon as mining in that Phase is completed. This progressive reclamation approach will occur during the life of the pit to; minimizes the area of disturbed land, mitigate weed infestation, manage soil erosion and retain land instability.

The proposed end landscape is shown in Figure 9. Related large-scale drawings and Cross-Sections are provided in Appendix 1.

The main goal of the reclamation program will be to achieve Equivalent land capability (as defined in the Conservation and Reclamation Regulation (CRR 115/93). In this case, the disturbed area will be restored to *70 % agricultural land interspersed with 30 % limited wildlife habitat.*

Final contouring will include flat to moderately undulating landscape in designated cropland areas and rolling, hummocky terrain in wildlife areas. Slopes in cropland areas will be softened to control erosion, ensure that soils can be maintained, and blend the reclaimed area with the natural landforms. Slopes will be varied but will not exceed 10:1. In wildlife areas, the excess overburden will be placed in an irregular fashion on flatland areas or along existing slopes to create irregular shapes 2-3 metres in height. Overburden and reject material will be used to create a rolling 'knob and kettle' topography on the pit floor. The pit walls will be regarded to provide slopes no steeper than 3:1 into the pit bottom (low-intensity use limit).

The final landscape will result in modifications to the local surface hydrology. Drainage measures will be employed in the final landscape to achieve three main goals:

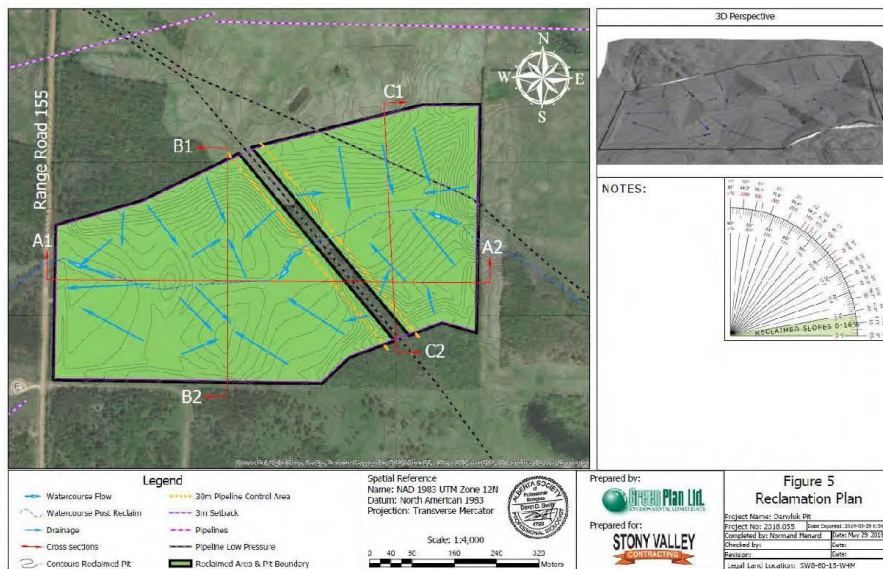
- retain natural drainage patterns particularly flows to the ephemeral.
- minimize ponding in designated cropland areas; and
- minimize soil erosion during spring runoff and major rainfall events

Most of the post development drainage will be directed to the floor of the pit using grading and landscaping techniques. This will create well drained upland areas for cropland area and help replenish the water supply the former ephemeral. Due to the slope configuration, water may temporarily impound in the ephemeral area however no permanent surface water features are anticipated. Short-term and permanent measures will be employed to control soil erosion during spring runoff and major rainfall events. This may include ditch blocks, swales, silt fencing etc.

Recontouring will be completed within two years of initial disturbance. Haul roads and ramps will be recontoured within two years of completion of mining in a particular area, unless mine plans demonstrate the future need for such infrastructure.

While every effort will be made to achieve this goal, the reclaimed land will not be identical to the pre disturbance conditions.

Figure 8. Reclamation Plan



5.5 RECLAMATION MATERIAL BALANCE

Material that will be salvaged for reclamation includes topsoil (A and B horizon), subsoil (C horizon) and reject material (fines from the crusher and non-marketable material (i.e., Clay layers) and wood debris.

Table 8 provides a reclamation material balance. The estimated reclamation material is 416,402 m³ which includes 67,210 m³ of topsoil, 68,080 m³ of subsoil, 60,312 m³ of reject, and 220,800 m³ of overburden. The surface area to be landscaped is estimated to be 28 ha which includes new slopes, the pit bottom, the access road and stockpile areas. The topsoil will be used for top application and the subsoil and reject materials will be used for slope and landform construction.

According to the reclamation material balance, there is enough topsoil and landform material to build the desired landscape.

Note: The topsoil and subsoil volumes were determined by taking an average of the soil thickness from the test holes, which in this case was 0.27 and 0.37 m respectively. Reject material from crushing operations and unmarketable material (i.e., clay layers) was calculated as 10% of the total aggregate and sand reserve.

Table 7. Reclamation Material Balance

Phase	Area m ²	Avg. Topsoil (m ³ , A and B) (0.27 m)	Avg. Subsoil (m ³ , C) (0.37 m)	Avg Reject (m ³ , 10% of aggregate)	Overburden (1.2 m)	Total (m ³)
Phase 1	75,000	22,080	27,750	10,871	90,000	84,471
Phase 2	17,000	6,970	6,290	15,973	20,400	39,183
Phase 3	52,000	16,800	19,240	6,643	62,400	62,643
Phase 4	40,000	21,360	14,800	26,825	48,000	98,025
Total	184,000	67,210	68,080	60,312	220,800	416,402

Source	Volume	Description
Topsoil Treatment		
Estimated topsoil insitu (A and B horizon combined)	67,210 m ³	Total material stripe.
Potential topsoil available for reclamation	60,489 m ³	Includes 10% material loss due to handling, stockpiling, etc.
Estimated Coverage Depth based on 28 hectares	22 cm	Anticipated treatment area taking into consideration slopes and topography change: 28 hectares
Landform Construction		
Reject Material	60,312 m ³	Based on 10 of aggregate yield.
Estimated Subsoil (C horizon)	68,080 m ³	
Subsoil, Overburden and Reject Available for Sloping	349,192 m ³	
Material available for landscaping with 10% loss	314,273 m ³	Landscaping material for building slopes This figure has been adjusted to include a 10% loss due to handling practices

5.6 RECLAMATION MATERIAL SALVAGE AND REPLACEMENT

Site preparation for reclamation will start with the sequential stripping and stockpiling of reclamation materials (topsoil, subsoil) from each development Phase. Vegetation removal will be limited to scrubby aspen and shrubs (wild rose, buckbrush, Saskatoon and Canadian Buffalo Berry) which will be piled and burned prior to topsoil salvage. The required fire permits from the County will be obtained prior to burning.

Topsoil will be salvaged at least 5 m ahead of all pit faces. The A and B horizon will be stripped in one lift using an “over stripping technique” to salvage as much topsoil as possible. The average thickness of the topsoil lift will be 0.24 m. Horizon C will be separated as a second lift and stockpiled separately.

Reclamation material will be placed at least 5 m from the edge of any pit face on un-stripped or replaced topsoil. Soil will be placed in windrows no greater than 2 m high with favorable slopes to avoid anaerobic conditions and erosion. Measurements of pile heights will be taken to monitor loss. The integrity of the topsoil and overburden stockpiles will be maintained by leaving a 3-metre separation distance between these stockpiles as well as all product stockpiles. Topsoil stripping operations will be suspended during wet or partially frozen conditions. In order to limit terrain disturbance and soil structure damage, soil salvage operations will only be restarted when conditions improve.

Aggregate stockpiles will only be placed on areas stripped of topsoil, and stockpiles in the pit area will be placed greater than 5 meters from all pit faces and at least 3 meters from topsoil stockpiles. If overburden is encountered, it will be stockpiled separately and used for building slopes and contouring.

Soil (topsoil and subsoil) will be replaced once final slopes are reclaimed (within the pit perimeter). Re-vegetation and final landscaping will commence no later than one year after completion of the mined-out phase, allowing existing seed banks to be directly placed. Depending on the time of year of topsoil placement, seeding may occur within the growing season to allow initial vegetative growth. The operating area for in pit haul roads will be reclaimed once the pit is exhausted of aggregate materials or, within one year of the stockpiles being removed.

According to the Material Balance, there will be enough replacement topsoil to obtain an average depth of 0.22 m. A subsoil replacement depth of 0.37 m is planned; however, this may vary slightly depending on the confirmed extent of subsoil, available reject material and sloping objectives associated with pit. All subsoil surfaces will be worked (tilled) to break up lumps and to level ridges and depressions prior to topsoil replacement.

Prior to topsoil placement the excavation surface will be disc-ripped to relieve compaction before topsoil replacement. Particular attention will be paid to high traffic areas. Salvaged reject, will be replaced first to construct the slopes, followed by the salvaged topsoil admix, over the re-contoured site. The admixed topsoil and subsoil will be replaced evenly at an average depth of 20 cm (80% of salvage) to ensure that equivalent agricultural land capability is achieved. Microsites will be created by leaving the surface soils uneven and of an irregular depth as much as possible.

Soils replacement will not be conducted under conditions that will increase the chance of erosion or compaction. Soil replacement should be postponed or suspended if conditions are wet or if high winds threaten soil structure and erosion rates.

To enhance reclamation success, some timber in the form of coarse woody debris (e.g. whole logs, tree-tops and stumps) will be salvaged. Coarse woody debris (CWD) has been reported to enhance reclamation by providing the following ecological benefits: nutrient cycling, erosion control, creation of microsites, moisture retention as well as facilitating plant and animal diversity. If stored for longer than 12 months, CWD will be stored with the surface mineral soil or flat to the ground as rollback in non-operational areas.

Where non-merchantable is mulched, “wood chips will not be mixed on with forest floor and/or surface soil” (Government of Alberta, 2009).

On areas where the proponent chooses to spread wood chips, the operator will ensure that the “wood chips to not impede revegetation and/or impact reclamation requirements. In addition, the wood chip depth will not exceed 5 cm” (Government of Alberta, 2009).

Non-merchantable timber located within the pit boundary will be stockpiled and burned.

5.7 REVEGETATION

All disturbed areas treated with topsoil will be revegetated. A seed mix that corresponds to the end land use will be chosen in consultation with the landowner. The end land use will be mainly cropland and the soil will be sandy loam, thus species suitable for sandy soil conditions will be recommended. Seed suppliers will be contacted when the site is ready for revegetation; local cultivars will be preferred if they are available. A Certificate of Seed Analysis will be obtained for each seed lot to determine if any problem weeds exist. If a seed is found to contain a problem weed, that lot will not be used. The Certificate of Seed Analyses will be submitted with the Reclamation Certificate.

Approximately 20 – 50 trees will be incorporated into the end landscape as agreed upon with the landowner.

5.8 ENVIRONMENT AND SAFETY CONSIDERATIONS

The following routine and site-specific practices will be incorporated into the management program to address potential environment and health and safety issues.

5.8.1 WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL

Stony does not plan to conduct a wet excavation or use water for material washing therefore, the water management plan will be limited to managing surface runoff within the pit during extreme precipitation events. Under these conditions water may accumulate in open excavations and topographical low areas.

Surface water control will be accomplished by grading the pit surface to convey overland runoff from stripped mine surfaces and stockpiles to open mined areas and/or topographical low areas within the pit. The site grading will include swales and ditches to direct the surface runoff to the collection areas.

Accepted Best Management Practices will be used to manage water quality. They will include erosion control measure to prevent sediment loading in runoff water and measures and controls to reduce the likelihood of a hazardous material release. Mitigation measures are described as:

- No Disturbance Areas, buffers, setbacks, and controlled areas will be identified and marked with tape or fencing on any sensitive areas that may be identified within the Project prior to or during operations;

- Temporary erosion and sediment controls will be constructed and installed before clearing and earthwork activities commence. If required, the slopes will be configured with sediment traps (settling ponds, silt screen) to dissipate sediment. A sufficient quantity of silt fencing will be readily available should it be needed; If required, the slopes will be configured with sediment traps (silt fencing and/or sediment logs) to dissipate sediment.
- The slopes will be re-vegetated concurrently with excavation to reduce the likelihood of soil erosion. Initial stabilization may require the use of intercepting fences, and other protection structures until permanent vegetation has become established. If less than 4 weeks of the growing season remain, seeding/re-vegetation will take place at the beginning of the next growing season;
- Reclamation material will be stockpiled in designated areas, and on material of the same classification (i.e., topsoil on topsoil; subsoil on subsoil) and protected with silt fencing;
- Equipment will not be permitted to work within the wetted perimeter of any wetland;
- Stockpiles will be seeded as necessary to control erosion;
- Stony Valley will cease operations during heavy or extreme rainfall events, as necessary;
- Hazardous materials will be stored in designated areas with overhead protection and secondary containment as needed; and,
- In the event that offsite dewatering is required, the proponent will apply for the required *Water Act* Approvals.

There are no plans to employ groundwater dewatering measures, as groundwater was not encountered in any of the test holes, or current extraction areas. Should conditions change operations will cease and AEP will be notified.

5.8.2 TRAFFIC, NOISE AND DUST

The following measures will be implemented as needed to mitigate impacts from traffic, noise and dust:

- Stony will obtain a road use agreement from the County and adhere to the traffic and road use requirements.
- All operations within the pit will be conducted in accordance with all municipal and provincial regulations governing noise levels;
- Mitigation measures to control dust will include the utilization of dust suppressants (Calcium Chloride – As required by Smoky Lake County) near any existing residence, as well as any pit roads. A local third-party company will be hired for occasional watering as needed to water the stockpile/processing area as well as all internal and external haul roads as required;
- Stony Valley will ensure that all loads of product are properly covered and that speed limits within the pit and as required along the municipal roads are strictly followed;
- Properly maintaining equipment;
- Requiring all trucks hauling from the site to be in good working order;
- Prohibiting the use of engine retarder brakes within the pit and along Range Road 172 and 173;
- Long term stockpiles of reclamation material will be seeded with a grass mix and progressive reclamation techniques will be employed to reduce overall disturbances associated with excavation;

- Use of strobe lights during hours of darkness instead of backup alarm systems; and,
- The possible use of noise reducing accessories, such as blanketing the crusher, or other suppression equipment (mufflers, etc.).

5.8.3 WEED MANAGEMENT

For the purpose of the Weed Management Program, “weeds” refer to restricted weeds, noxious weeds, and nuisance weeds as per the “Alberta *Weed Control Act* following components of prevention, inspection and control:

- The Site Supervisor will ensure that all vehicles coming into the site are clean and free of off-site soils and vegetation. Only Canada 1 Certified and SRD approved seed mixes will be applied to this site if seeding is required;
- During the growing season, the site shall be inspected for weed and invasive species. The Site Supervisor will: record weed type and location on Weed Survey Information Sheets; prescribe a weed control method and prepare an annual Weed Monitoring Report detailing the locations of weeds, control practices and follow-up monitoring (and submitted to the AEP Field Office);
- Weed control will be conducted without delay. Methods applicable to control efforts shall include hand picking, mechanical and chemical if required. The method used will employ the suitable technique. The Applicant will conform to the provisions from Alberta Environmental Protection and Enhancement Act, Pesticide Regulation AR 43/97; Pesticide Sales, Handling, Use and Application Regulation AR 24/97 and the Environmental Code of Practice for Pesticides; Water Resources Regulation);
- Reclamation material stockpiles will be managed and vegetated occurring the immediate and long-term reclamation objectives (i.e. agricultural/native) to mitigate weed occurrence. Natural seed bank/natural attenuation may be employed as necessary as well. Were chemical control is required, the proper application of herbicides will occur and a qualified individual or company will be retained;
- Weed management will include techniques for: weed prevention, weed monitoring and weed control as per the Alberta *Weed Control Act (2010)*. Weeds designated as noxious or prohibited noxious are listed in the *Weed Control Regulation (2010)*. Any noxious or prohibited noxious weeds will be eliminated, controlled or prevented from scattering. The county Agricultural Field man will be contacted for a list of weeds locally upgraded to prohibited noxious;
- All soil handling equipment that enters the pit will be pressure washed to remove loose soil and minimize the introduction of weed seeds;
- The site will be monitored regularly for weeds during the growing season. If weeds are discovered during monitoring, the type and location will be recorded, and a weed control method will be prescribed. Noxious weeds will be controlled and prohibited noxious weeds will be destroyed.; and,
- Practices to control weeds include mowing, hand picking, spraying and spot spraying. Handpicked weeds will be disposed of at an appropriate facility. Herbicides will be selected based on soil type (i.e. not highly leachable), weed species and in consultation with the landowner.

5.8.4 CLUBROOT MANAGEMENT

Clubroot is a disease affecting cruciferous crops (e.g., mustards, canola, etc.), resulting in reduced to severe loss of crop yield. Clubroot was declared a pest under the *Alberta Agricultural Pests Act* in 2007.

At all times during construction, the operator will take every step to prevent the spread of Clubroot. Prior to mobilization, they and their subcontractors will review the Provisions and Best Management Practices outlined in the Alberta Clubroot Management Plan and ensure each is enforced during all construction operations (Government of Alberta [GoA] 2014).

At a minimum, the following control measures will be employed:

- Ensure vehicles and equipment are thoroughly pressure washed prior to mobilization and/or demobilization of any project. Any potential on site contamination will be cleaned off with use of appropriate disinfectant (i.e. Virkon).
- Whenever possible, no vehicles or equipment is to be driven into adjacent fields or use field approaches for parking. Vehicles are to be parked on designated areas, roadsides or in ditches. Appropriate lights, signage and rowcaps must be used.
- Apply disinfectant to all vehicles and equipment leaving the site. Equipment and truck undersides and tires are to be washed at an appropriate wash area upon returning to the yard if vehicle tires come in contact with test positive areas of field approaches or soil.
- Individuals working in test positive areas shall put on all PPE and biosafety equipment, including disposable boot covers before approaching the field.
- Personnel will limit the number of times positive areas are crossed.
- After the field work is complete, all individuals shall brush off any additional soil from their clothes and turn boot covers inside out for disposal in the designated disposal bags. Using gloves, one shall spray Virkon disinfectant on their boots targeting the soles and let dry.
- Tools and tires used in the field shall be sterilized with Virkon and gloves used turned inside out and disposed in the designated disposal bags.

5.8.5 PUBLIC SAFETY AND ANNOYANCES

To minimize potential safety risks associated with trucks hauling gravel, Stony Valley is prepared to restrict hauling to adhere to all municipal speed limits and signs will be utilized as per the County and Alberta Transportation (AT) requirements. Additionally, other measures requested by the County or AT will be implemented.

Should any issues be raised by the local community or otherwise, Stony will attempt to collaboratively resolve such issues with the affected landowner(s)/occupants.

The schools' system and bus company will be consulted to address potential conflicts with the bus route.

5.8.6 FIRE PREVENTION CONTROL

Although burning of woody debris is not recommended in order to maximize coarse woody material for reclamation, it may become necessary under certain unforeseen circumstances. When burning is required, fire control will be carried out as follows:

- The Project area is not within Alberta Environment Parks (AEP) forest protection area; therefore, AEP will not issue a fire permit. Issuance of a fire permit is the responsibility of the County. The operator will obtain a fire permit prior to burning.
- Slash piles dimensions will be no greater than 60 m long and will have a minimum of 8m breaks between each pile, and not be located within 25 m of forested lands
- Burning will not occur on surface soils, peaty or organic soils (only on mineral soils)
- Burning will only occur during safe weather conditions
- On-site fire equipment will be appropriate for the scale of the operation

5.8.7 WILDLIFE AND WETLANDS

The main wildlife concern will be impacts to nesting birds.

Any clearing of vegetation during the breeding season will be avoided. In the event clearing of vegetation must occur during the breeding season (April 15 – August 31), Stony Valley will retain the services of a qualified biologist to perform a pre-clearing nest sweep. Stony Valley will commit to clearing within 7 days of each nest sweep. In the event a period of greater than 7 days between nest sweep and clearing, additional surveys will be conducted. If a nest is observed during any point in construction, Stony Valley will consult with a professional biologist and/or AEP regarding appropriate measures.

The end landscape will also incorporate measures to maintain limited wildlife habitat and movement especially in the area of the ephemeral.

5.9 APPROVALS, PERMITTING, LICENSING AND LAND USE AGREEMENTS

The following additional permits, approvals and consultations will be acquired prior to commencing physical work on the site:

- Landowner Consent
- Development Permit and Road Use Agreement with the County
- Possible Roadside Development Permit with Alberta Transportation
- Pipeline relocation/Proximity Agreement if needed.
- Consultation with AEP to confirm status of Ephemeral

5.10 INACTIVE PIT

The pit will be inactive and likely unmanned when there is no demand for product. In this case the aggregate will be stockpiled and extraction activities will be temporarily halted. The gate will also be locked and emergency signage will be erected with contact information. If an area of the disturbed pit is left inactive for more than two years, proper security and soil conservation methods will be implemented. Security measures will include, but not be limited to signs and fences and a locked gate. Soil stockpiles will be recorded, marked and kept vegetated top ensure soil material is conserved for future reclamation. The inactive pit areas will be included in the weed management program with the rest of the site.

In the event a portion of the pit should become inactive for more than two years, the pit faces will be re-sloped to 2:1 to ensure public safety and to avoid the potential loss of reclamation material due to erosion or slumping.

5.11 HOURS OF OPERATION AND SITE MANAGEMENT

The maximum hours of operation for pit activities that include stripping, extraction, screening, stockpiling, hauling and reclamation will be from 7:00 am to 7:00 pm, Monday to Friday and 8:00 am to 4:00 pm on Saturday. The project will likely result in a peak workforce of 15 people which may include 5 equipment operators and 10 contract truck operators. The site will be managed by a Stony employee (Appendix 3).

Note: The above activities are proposed not to be conducted on Sunday or statutory holidays. Equipment required for the above activities will include gravel and rock trucks/wiggle wagons, loaders, track excavators, crawler tractors, and a screener.

6. SECURITY, REPORTING, AND COMPLIANCE MANAGEMENT

This Section is meant to satisfy Section 3.0 and 5.0 of the Guide to the Code of Practice.

6.1 SECURITY

Reclamation financial security as required by Alberta Environment and Parks (AEP), as per Land Use Bylaw, Section 81, Condition 2(o), Condition 12(q) is estimated to be \$293,847.50. The security includes the total cost to reclaim half of Phase 1 or 3.75 ha. The Applicant intends on using their own equipment and own earth moving equipment for reclamation. The Security form is provided in Appendix 4. Security will be provided in this amount once confirmation is provided by AEP.

6.2 REPORTING

The Applicant will undertake the following reporting requirements in accordance with the Code of Practice for Pits.

- Should a contravention to the code occur, Stony Valley will be report immediately to the Director using the Alberta Environment industrial reporting line at 1-780-422-4505.
- A Five-Year report will be submitted to the Director every five years after registration until the Final Reclamation Report is submitted. Pit activity will pause after the report due date until the report has been submitted.
- A Final Reclamation Report will be submitted within three years of the entire pit being revegetated. The drawings will follow the same format as the Activities Plan.
- Stony will retain an Operating Record for a minimum of five years. A copy will be kept at the pit.
- Stony will provide information required of the Director or inspector on request.
- If a transfer of a registration is required, a new Activities Plan or a written confirmation that the existing Activities Plan will be followed will be provided to the Director. The current registration holder will be held accountable for the pit until the Director authorizes the registration transfer.
- Upon completion of the pit, a Reclamation Certificate will be obtained in accordance with the *Environmental Protection and Enhancement Act*. The registration will be terminated once the entire pit has received a reclamation certificate.
- compliance management
- It will be the duty of the site supervisor to implement the necessary applications specified in the Activities Plan. The main responsibilities include:
 - Contacting AEP as needed to address any concerns regarding timing restrictions and/or water management and participating in AEP site inspections and addressing any concerns that are identified;
 - Advising site personnel of the Plan requirements and mitigation measures and providing appropriate training; ensuring that the appropriate equipment and materials are available, and that staff are properly trained in their use and delivery;

- Inspecting all activities to verify compliance with terms and conditions of the Plan, performance criteria and applicable government standards;
- Documenting the effectiveness of the mitigation and reclamation measures as well as identify any problem areas that may require remedial action. Documenting site activities by field notes and photographs;
- Visually monitoring water quality and erosion within the project area to make sure standards are not compromised;
- Reporting deviations to the Plan including reasons for the deviation to AEP;
- Preparing reports on any environmental incidents and follow-up with an investigation and a plan for corrective action;
- Monitoring for weeds and reclamation progress with professional assistance where needed.
- Filing of the Annual Requirements and 5 Year Renewal reports; and
- Maintaining on-site records for all activities related to environmental protection in a project file. Such records will include permits/licenses/approvals, Land Use applications, test results, manifests, environmental incident and spill reports, notification forms, inspection records, Material Safety Data Sheets (MSDS), all alterations and upgrading of environmental protection controls, environmental assessments, reports, plans and specifications.

7. LIMITATIONS

This report has been prepared for the exclusive use of Stony Valley Contracting Ltd. and their consultants or clients relative to the proposed project referred to in the report. It may not be used or relied upon in any manner whatsoever, or for any purpose whatsoever, by any other party. The Consultant makes no representation of fact or opinion of any nature whatsoever to any person or entity other than the company, organization or individual to whom this report is addressed.

Green Plan Ltd. Environmental Consulting denies any liability whatsoever to other parties who may obtain access to this report for any injury, loss or damage suffered by such parties arising from their use of, or reliance upon, this report or any of its contents without the express written consent of the author and the client.

The investigation described in this report has been conducted in a manner consistent with a reasonable level of care and skill normally exercised by members of the environmental consulting profession currently practicing under similar conditions in the area.

The Activities Plan is based on design criteria and exploration data provided by Stony Valley and information obtained through the development of the permit application. The plan may be subject to change pending further consultation with the County, government stakeholders and/or any changes in the operation and/or construction of the pit. This information will be provided to the M.D. and an amendment to the plan will be filed.

8. CLOSURE

As an Agent for the Applicant, Green Plan Ltd Environmental Consulting certifies that the information provided in this plan is an accurate description of the existing site conditions, proposed operation, and reclamation of this development. Green Plan is confident that this plan provides sufficient information for Alberta Environment and Parks, and Smoky Lake County to determine the acceptability of the project.

Sincerely,

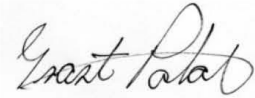
Reported by:

Green Plan Environmental Consulting Ltd.



Flavia Koch, PhD

Environmental Biologist



Grant Potolicki BES

Senior Environmental Planner

Accepted by:

Stony Valley Contracting Ltd.



Date: Jan 15/20

Printed Name: Lorne Wendel

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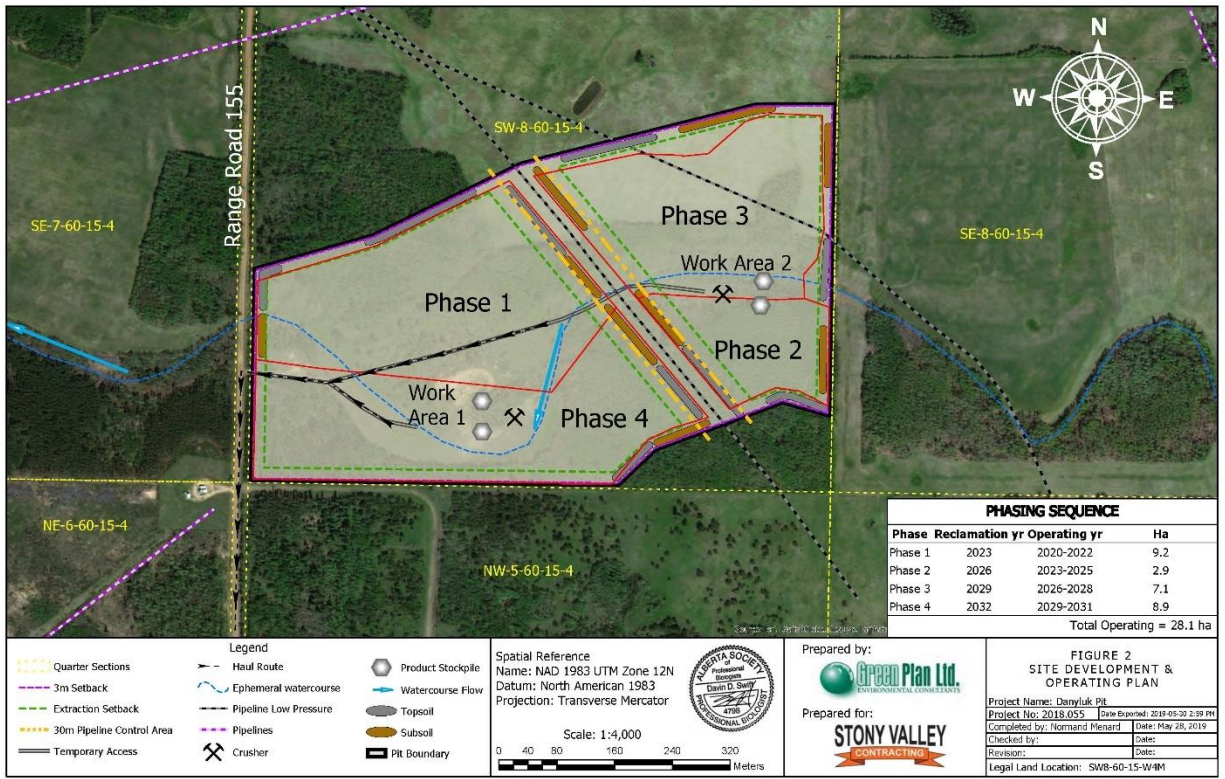
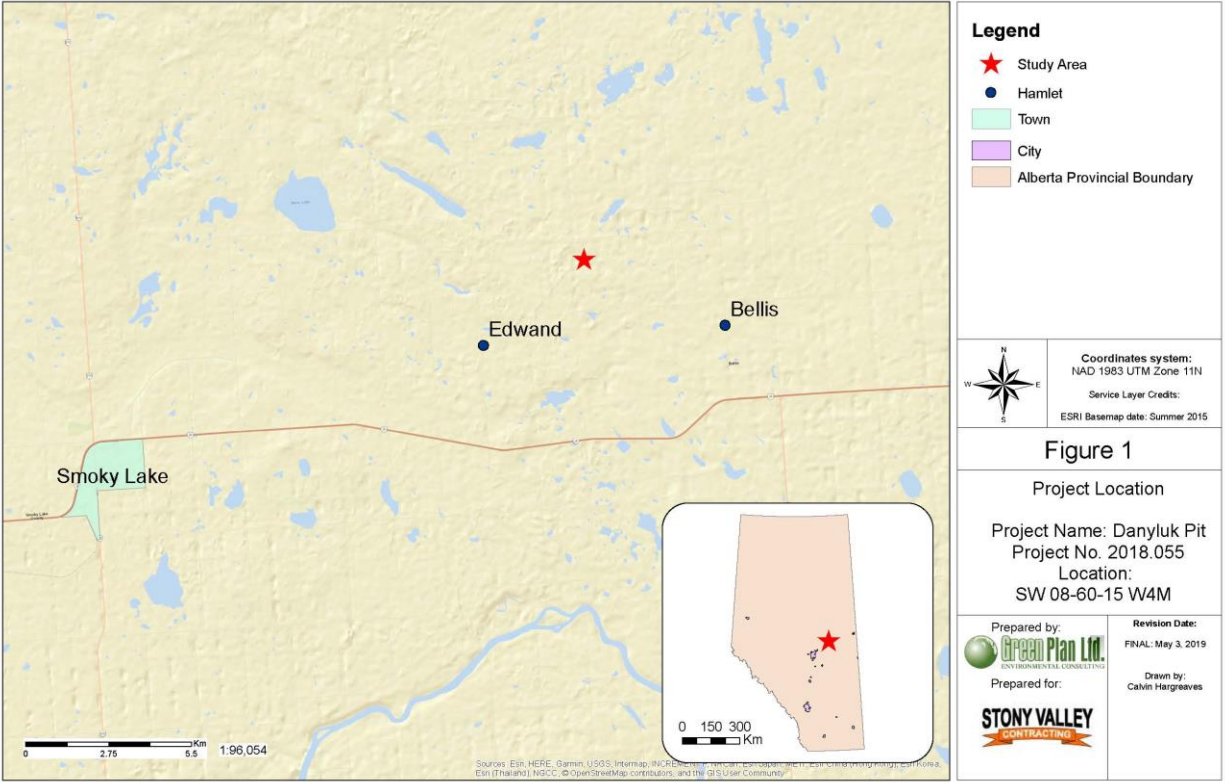
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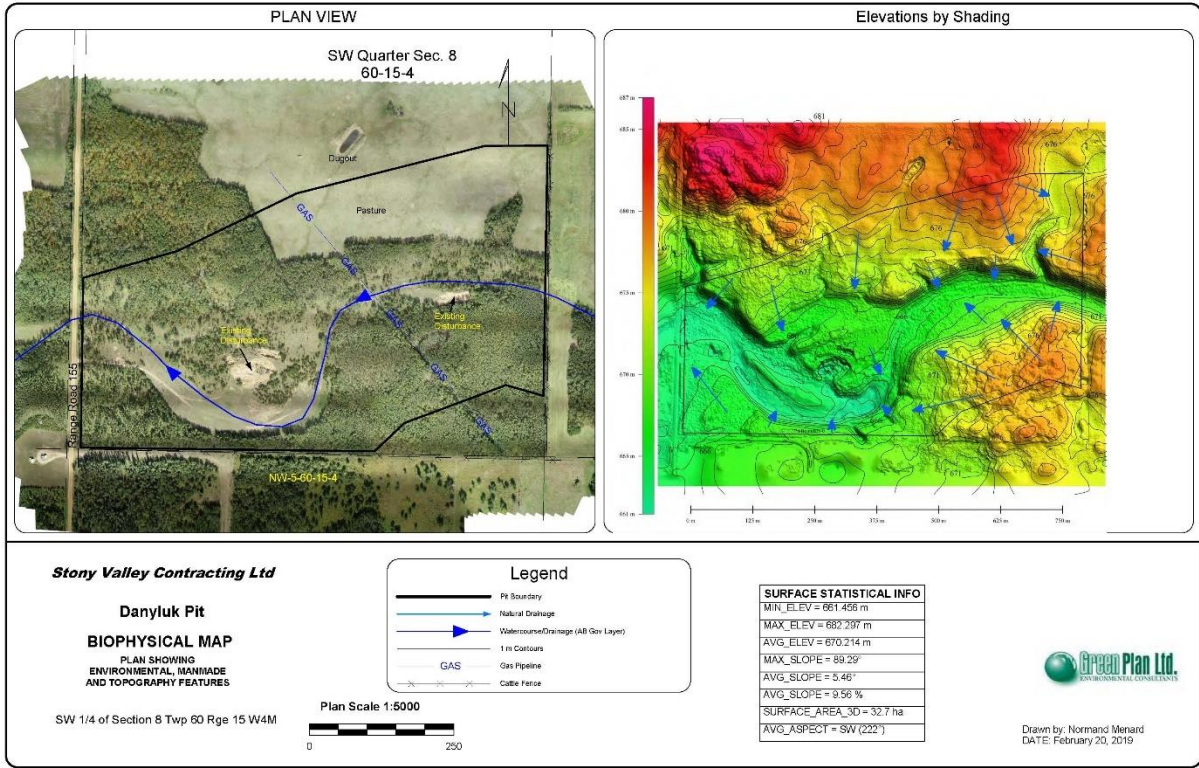
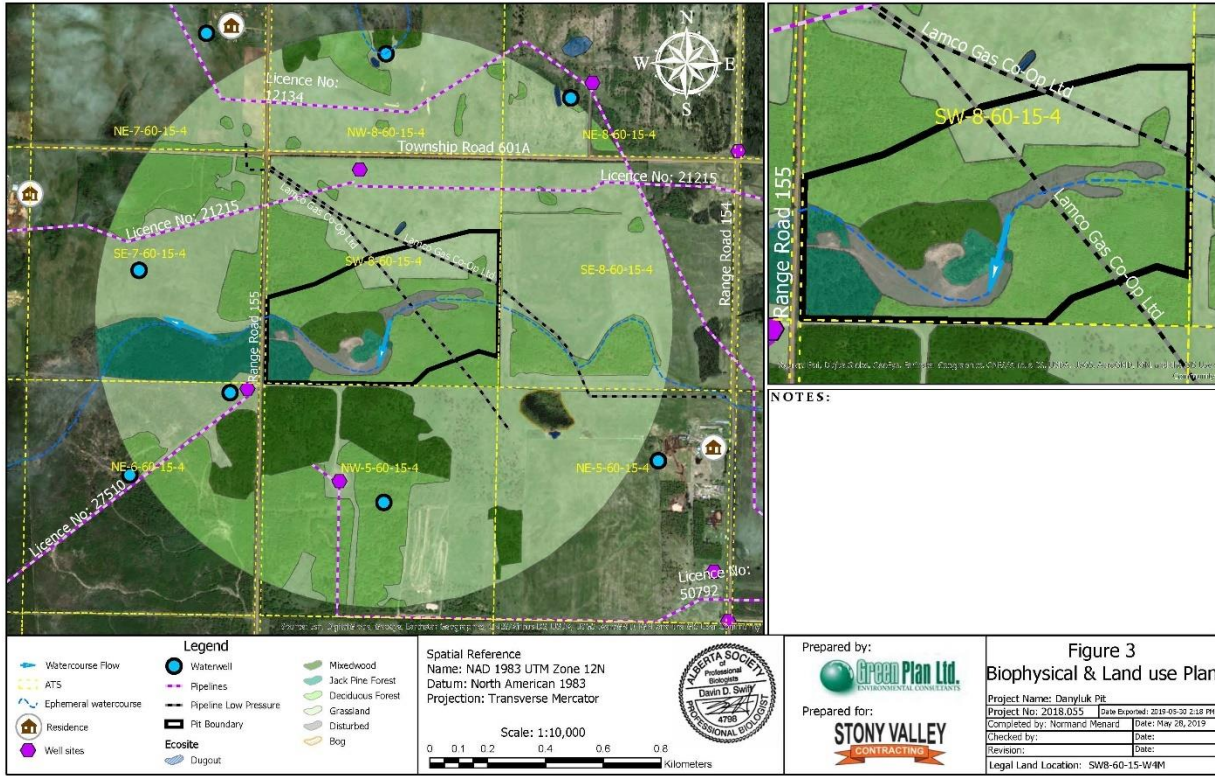
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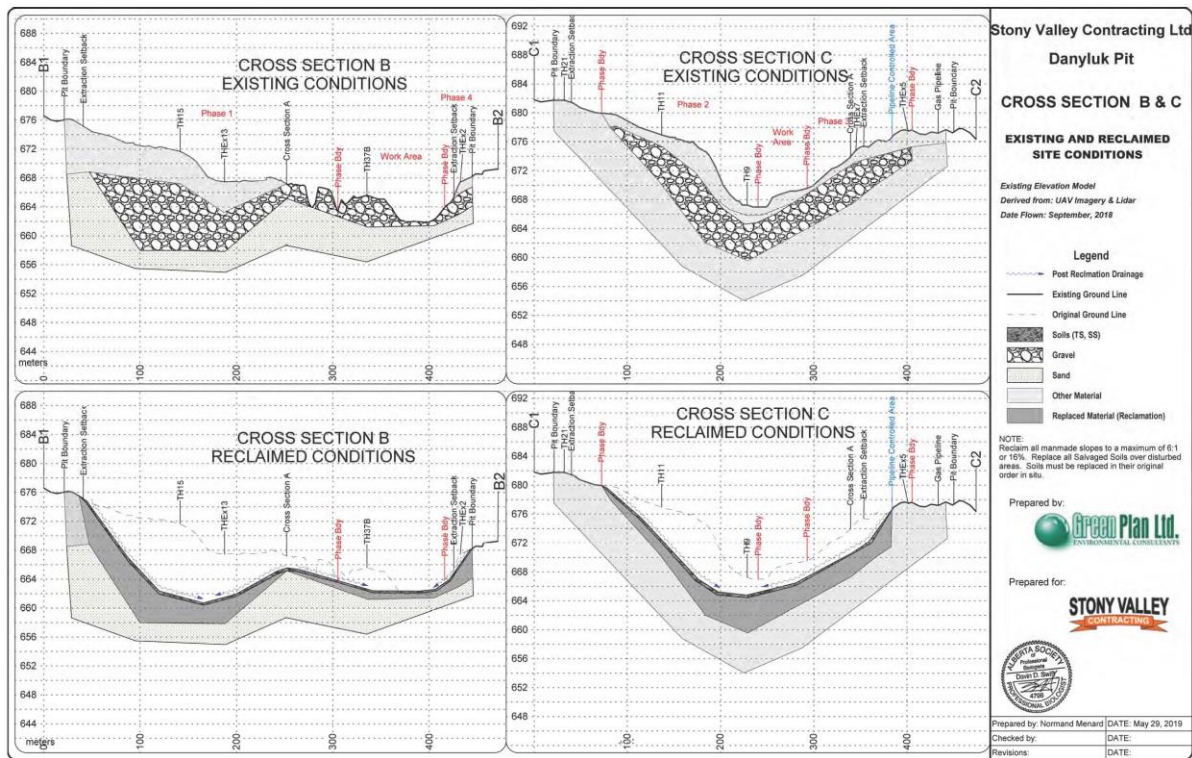
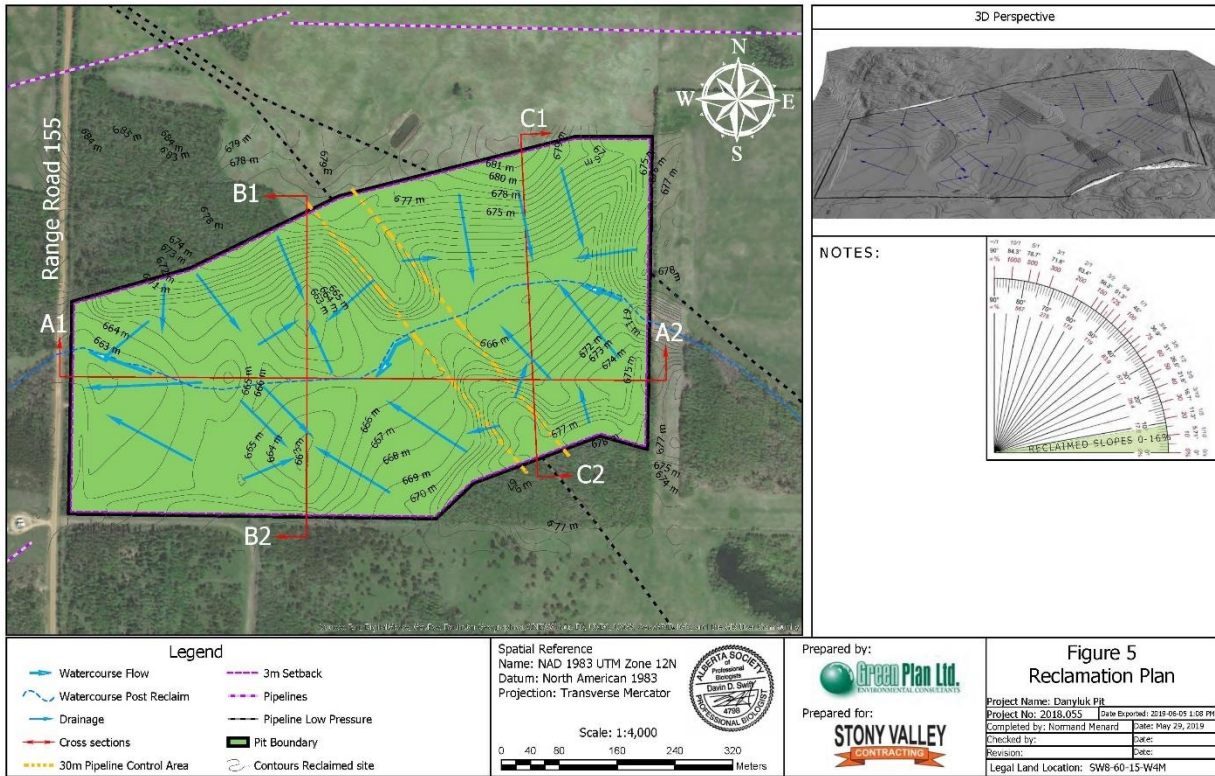
APPENDIX 1

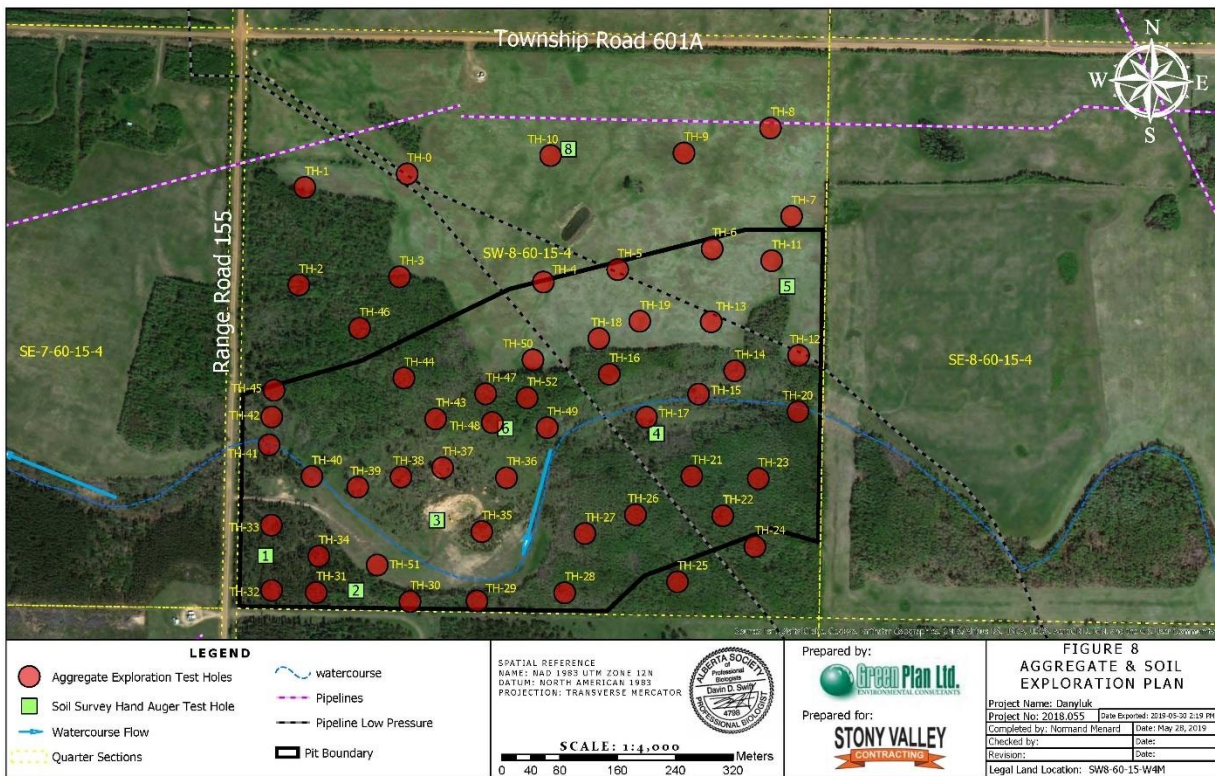
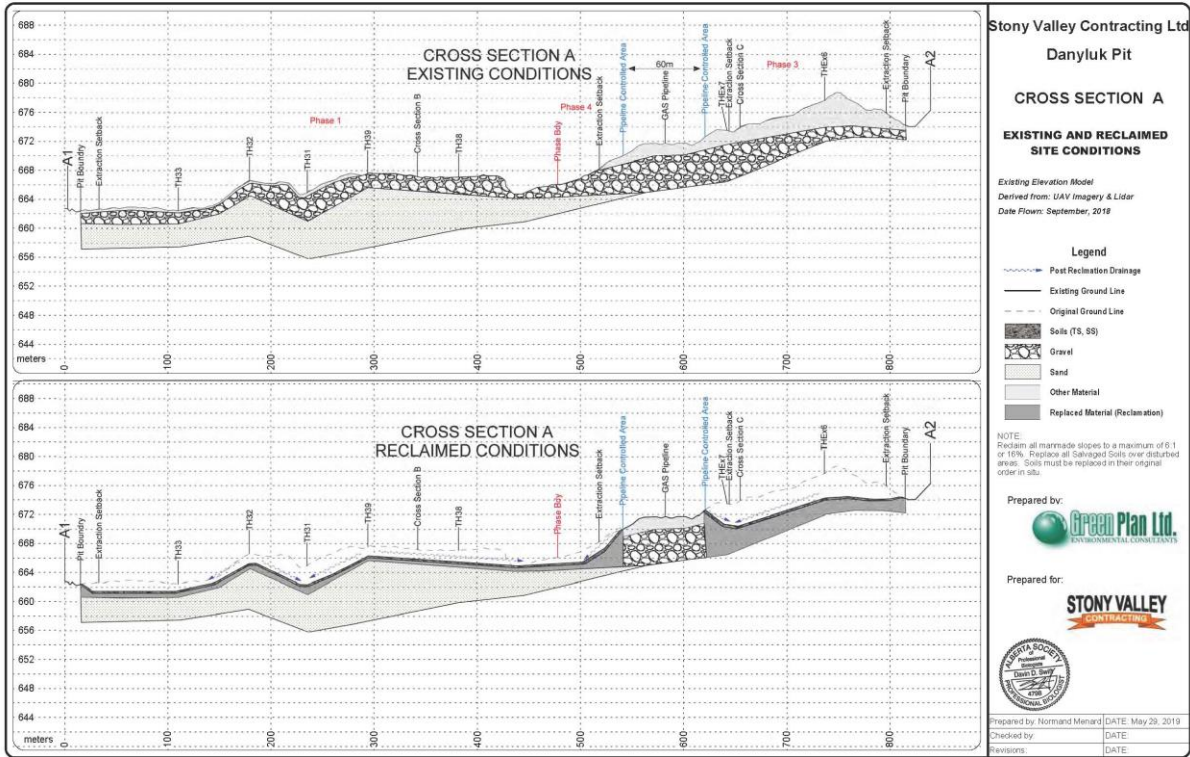
Prepared By











APPENDIX 2

Prepared By



Site Photos Danyluk Pit – Smoky Lake County
 Filed Assessment, September 11, 2018

Disturbed Area



Drainage area



South of the pit



Drainage area – upslope



Downslope



Cavity nest



Soil – hand augered Ah, Ap, B, C horizons



Faint mottling in the C horizon



Deciduous overstory



Transition from deciduous to pine



Gas pipeline



Dugout



Exploration Report				
Pit:	Danyluk	SW 8-60-15-W4M		
Date:	May 30th, 2018		Equipment:	
Name:	Dean Zarudeneć		Can Geo Track Rig	
Test Hole	Depth	Description	Water	Sample
T1	0 - 4"	Topsoil		X
	4" - 3'	Sand medim to fine, clean		
	3'-5'	Good Gravel		
	5' - 9'	Sand medim to coarse, some rock 15%		
	9' -12'	Very good gravel		
	12' - 18'	poor and fair gravel seams with small sand layers, clean		
	18' - 25'	sand with fair gravel seems throuhout		
	25' - 56'	coarse - medim sand, with small gravel chips,		X
	56'	clay		
T2	0 - 3"	Topsoil/organics		
	3" - 6'	Very Good Gravel large rocks		
	6' - 10'	Fair Gravel some sand seems		
	10' - 13'	Good Gravel		
	13' -16'	Medium sand , clean		
	16' - 18'	fair gravel seam		
	18' - 21'	sand medium		
	21' - 28'	fair gravel seams in fine to medium sand		
	28' - 42'	sand medium no rock		
	42'	clay		
T3	0 - 3"	Topsoil/organics		
	3" - 3'	clay, dry, medium to low plastic		
	5' - 15'	Good Gravel, clean sand, medium		
	15' - 22'	Very Good Gravel		
	22' -47'	Medium sand , clean, some small gravel layers		
	47' - 55'	clay		
T4	0 - 3"	Topsoil/organics		
	4" - 3'	clay, dry, medium to low plastic		
	3' - 7'	Good Gravel, clean sand, medium		
	7' - 10'	Medium sand , clean, some small gravel layers		
	10' -25'	Very Good Gravel, small inbeded 1' sand seams		
	25' - 30'	Medium sand , clean, some small gravel layers		
	30' - 40'	fine to medium sand		
T5	0 - 2"	Topsoil/organics (reclaimed area)		
	2" - 1'	fair gravel		
	1' - 3'	Medium sand , clean, some rock		
	3' - 5'	fair to poor gravel		
	5' -20'	medium sand		
	20' - 26'	coarse sand clean, 10% rock		
	26' - 32'	poor gravel with sand layers		

	32'	clay		
T6	0 - 5"	Topsoil/organics		
	5" - 9'	clay, dry, medium to low plastic		
	9' - 11.5'	Good Gravel, clean sand, medium		
	11.5' - 15'	Poor to Fair Gravel, small inbeded 1' sand seams		
	15' -22'	Very Good gravel		
	22' - 28'	Medium sand , clean, some small gravel layers		
	28' - 30'	Poor to Fair Gravel		
	30' - 53'	Medium Sand no rock		
	53'	clay		
T7	0 - 6"	Topsoil/organics		
	6" - 4'	clay, dry, medium to low plastic		
	4' - 5'	large rock layer		
	5' -15'	fine sand clean		
	15' -18'	Fair to Good gravel		
	18' - 31'	Good to Very Good Gravel, coarse clean sand		X (sand o
	31' - 40'	Medium sand , clean, some small gravel layers		
	40' - 49'	Medium Sand 10% rock		

	49'	clay		
T8	0 - 4"	Topsoil		
	4" - 9'	Very Good Gravel, very dry coarse clean sand, big rocks		
	6.5' - 33'	Sand medium, clean		
	33' - 46'	coarse to medium, clean sand		
	46' - 55'	clay		
T9	0 - 4"	Topsoil/organics		
	4" - 6'	clay, dry, medium to low plastic		
	6' - 9'	Sand medium, clean		
	9' - 22'	Very Good Gravel, very dry coarse clean sand		
	22' - 53'	Sand medium, clean		
	53'	clay		
T10	0 - 6"	Topsoil		
	6" - 2.5'	Very Good Gravel, very dry coarse clean sand, big rocks		
	2.5' - 30'	Sand, medium, no rock		
T11	0 - 4"	Topsoil/organics		
	4" - 6'	clay, dry, medium to low plastic		
	6' - 19'	Very Good Gravel, very dry coarse clean sand, big rocks		
	19' - 27'	sand, medium, clean		
	27' - 34' +	hard pack clay		
T12	0 - 4"	Topsoil/organics		
	4" - 6'	clay, dry, medium to low plastic		
	6' - 8'	sand, medium, clean		
	8' - 15'	fine sand		
	15' - 21'	poor gravel, sand seams		
	21' - 25'	Very Good Gravel, very dry coarse clean sand, big rocks		
	25'	rejection boulder		
T13	0 - 4"	Topsoil/organics		
	4" - 16'	clay, less dry, medium to low plastic		
	16' - 18'	good gravel		
	18' - 22'	fair gravel		
	22' - 24'	good gravel, sand seams		
	24' - 30'	sand medium, clean		
	30' - 33'	poor to fair gravel		
	33' - 38'	medium sand, small gravel layers		
	38' - 47'	fine to medium sand, no rock		
	47'	clay		
T14	0 - 6"	Topsoil		
	6" - 3'	sand very fine		
	3' - 5'	very coarse clean sand 15%, (street sand)		

	5' - 7'	medium sand		
	7' - 27'	fine sand, dirty as go down		
	27'	clay		
T15	0 - 4"	Topsoil		
	6" - 12'	clay, dry, medium to low plastic		
	12' - 14'	sand medium, clean		
	14' - 16'	poor gravel, sandy		
	16' - 18'	good gravel		
	18' - 27'	poor to fair gravel with sand seems		
	27' - 30'	medium sand, 10% rock		
	30' - 45'	sand medium, no rock		

	45' - 50'	fair to gravel		
	50' - 65'	sand fine to medium clean		
	65'	clay, dry		
T16	0 - 4"	Topsoil		
	6" - 4'	clay, very dry, medium to low plastic		
	4' - 6'	poor gravel, sandy		
	6' - 11'	Very Good Gravel, very dry coarse clean sand, big rocks		
	11' - 15'	fine to medium		
	15' - 17'	poor to fair gravel with sand seems		
	17' - 33'	hard packed fine sand		
T17	0 - 6"	Topsoil		
	6" - 3'	Hard Clay, dry		
	3' - 10'	Very Good Gravel, very dry coarse clean sand, big rocks		
	10'	refusal boulder		
T18	0 - 5"	Topsoil		
	5" - 10'	poor gravel		
	10' - 13'	clay/ very fine sand		
	13' - 15'	fair gravel		
	15' - 33'	fine sand		
T19	0 - 6"	Topsoil		
	6" - 3'	clay		
	9' - 15'	Very Good Gravel, very dry coarse clean sand,		
	15' - 33'	fine sand		
T20	0 - 6"	Topsoil		
	6' - 12'	Clay damp		
	12' - 14'	poor gravel, dirty		
	14' - 18'	fine sand		
	18'	Clay damp		
Test Hole	Depth	Description		
T21	0 - 6"	Topsoil		
	6' - 4'	Rocks and Clay		
	4' - 10'	coarse sand, 10% rock		
	10' - 15'	fine sand		
	15' - 25'	clay		
T22	0 - 4"	Topsoil		
	4" - 18'	clay		

T23	0 - 4"	Topsoil		
	4" - 23'	clay		
T24	0 - 4"	Topsoil		
	4" - 23'	clay		
T25	0 - 6"	Topsoil		
	6' - 10'	Clay, dry, medium to High Plastic,		
	10' - 25'	medium sand, 5-10% rock		
	25'	clay		
T26	0 - 6"	Topsoil		
	6' - 10'	fine to medium sand		
	10' - 25'	clay		
T27	0 - 6"	Topsoil		
	6' - 10'	fine to medium sand		
	10' - 25'	clay		
T28	0 - 4"	Topsoil		
	5" - 5'	clay, very dry, medium to low plastic		
	5' - 7'	poor gravel, dirty		
	7' - 11'	fine to medium sand		
	11' - 13'	poor gravel, sandy		
	13' - 16'	fine to medium sand		
	16' - 18'	fair gravel		
	18' - 33'	fine sand		
T29	0 - 6"	Topsoil		
	6" - 3'	clay and fine sand		
	3' - 9'	Good Gravel, very dry coarse clean sand,		
	9' - 13'	coarse sand, 10% rock		
	13' - 15'	poor gravel		
	15' - 33'	fine sand		
T30	0 - 3"	Topsoil		
	3" - 6'	clay, very dry, medium to low plastic		
	6' - 9'	Good Gravel, very dry coarse clean sand,		
	9' - 12'	coarse sand, 10% rock		
	12' - 33'	fine sand		
T31	0 - 6"	Topsoil		
	6" - 1'	clay and fine sand		
	1' - 10'	Very Good Gravel, medium clean sand,		
	10' - 33'	fine sand		

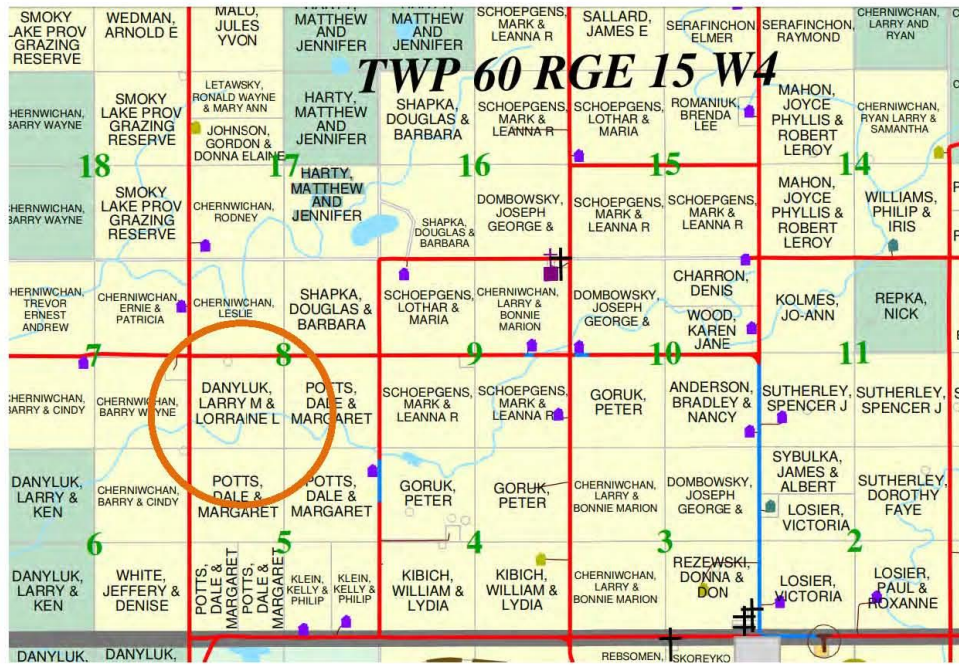
T32	0 - 6"	Topsoil		
	6" - 1'	clay and fine sand		
	1' - 4.5'	Very Good Gravel, medium clean sand,		
	4.5' - 20'	fine to medium sand, clean		
T33	0 - 6"	Topsoil		
	6" - 2'	clay and fine sand		
	2' - 4'	Good Gravel, medium clean sand,		
	4' - 20'	fine to medium sand, clean		
T34	0 - 6"	Topsoil		
	6" - 2'	clay and fine sand		
	2' - 6'	Very Good Gravel, medium clean sand,		
	6' - 20'	fine to medium sand, clean		
T35	0 - 6"	Topsoil		
	6" - 5'	clay and fine sand		
	5' - 10'	Good to Fair Gravel, medium clean sand,		
	10' - 50'	fine to medium sand, clean		
T36	0 - 6"	Topsoil		
	6" - 3'	clay and fine sand		
	3' - 5'	poor gravel, dirty		
	5' - 23'	fine to medium sand, clean		
T37A	0 - 6"	Topsoil		
	6" - 5'	Very Good Gravel, medium clean sand,		
	5' - 6'	fine to medium sand, clean		
	6' - 7'	Good Gravel		
	7' - 20'	fine to medium sand, clean		
T37B	0 - 1'	Topsoil / OB		
	1' - 6'	Very Good Gravel, medium clean sand,		
	6' - 7.5'	fine to medium sand, clean		
	7.5' - 10'	Very Good Gravel, medium clean sand,		
	10' - 12'	fine to medium sand, clean		
	12' - 15'	Very Good Gravel, medium clean sand,		
	15' - 28'	fine to medium sand, clean		
T38	0 - 4'	Topsoil		
	4" - 5.5'	Very Good Gravel, medium clean sand,		
	5.5' - 20'	fine to medium sand, clean		
T39	0 - 4'	Topsoil		
	4" - 5'	Very Good Gravel, medium clean sand,		

	5' - 20'	fine to medium sand, clean		
T40	0 - 4"	Topsoil		
	4" - 9'	clay		
	9' - 13'	sand		
	13' - 15'	Good Gravel, medium clean sand,		
	15' - 17'	fine to medium sand, clean		
	17' - 23'	Very Good Gravel, medium clean sand,		
	23' - 25'	poor gravel		
	25' - 33'	clay		
T41	0 - 4'	Topsoil		
	4" - 3'	clay		
	3' - 9'	Good Gravel, medium clean sand,		
	9' - 20'	fine to medium sand, clean		
T42	0 - 4'	Topsoil		
	4" - 3'	clay		
	9' - 28'	medium sand, clean		

APPENDIX 3

Prepared By





LEGEND		
Recreational/Cultural Features	Government Sites/Services	Land Classification
Campground	Land Fill/Waste Disposal	Titled Property
Cemetery	Municipal Shop	Crown Land
Church	Reclaimed Land Fill	Grazing Lease
Church/Retreat	Sewage Lagoon	Inset Mask
Community Hall	Tower	Municipal Property
Golf Course	Transfer Station	Reserve/Settlement
Restaurant	Residential Buildings	Town/Village
Retail Business	Cabin	Electoral District
Miscellaneous Sites	Manufactured Home	Transportation
Gravel Pit/Stockpile	Multi Family	Paved Highway
	Residence	Paved Road
		Gravel Road
		Private Road
		Iron Horse Trail
		Railway

Report on Soil Polygon: 21626

Variable	Value
POLY_ID	21626
Map Unit Name	ABGM2/H11
Landform	H11 - hummocky - low relief
LSRS Rating (Spring Grains)	3HT(8) - 5W(2)

Landscape Model Descriptions:

Orthic Gray Luvisol on medium textured (L, CL) till (ABC).
 Dark Gray Luvisol on medium textured (L, CL) till (GMT).
 The polygon includes poorly drained soils (2).
 Hummocky, low relief landform with a limiting slope of 6% (H11).

Image:



Report on Soil Polygon: 21214

Variable	Value
POLY_ID	21214
Map Unit Name	ABGM6/H1m
Landform	H1m - hummocky - medium relief
LSRS Rating (Spring Grains)	3HT(8) - 4MT(2)

Landscape Model Descriptions:

Orthic Gray Luvisol on medium textured (L, CL) till (ABC).

Dark Gray Luvisol on medium textured (L, CL) till (GMT).



The polygon includes soils that are coarser textured than the dominant or co-dominant soils (6).

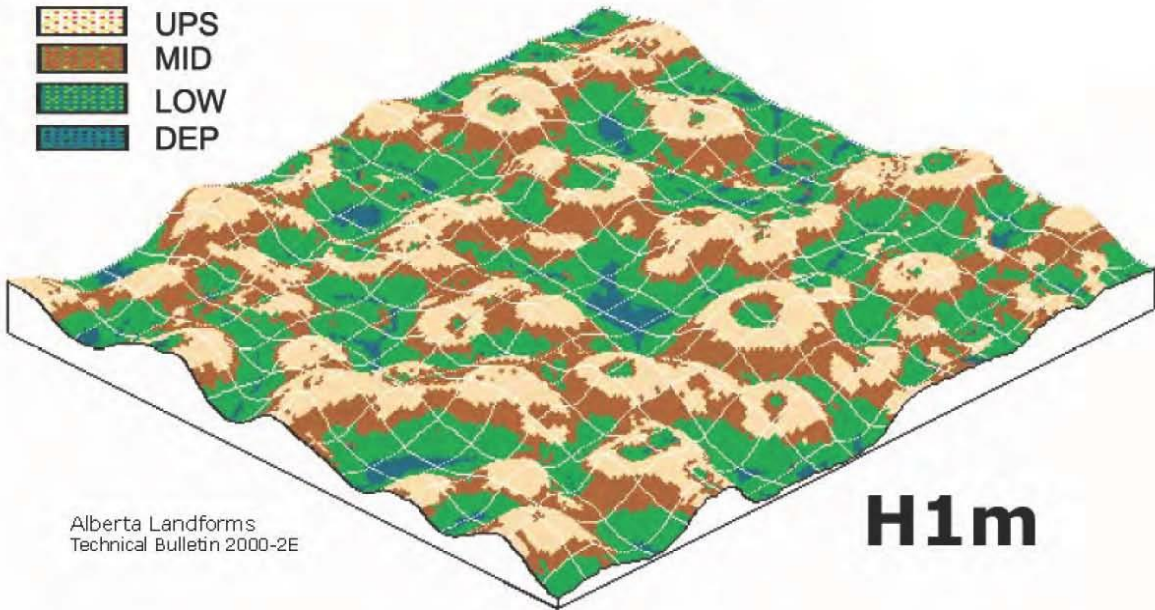
Hummocky, medium relief landform with a limiting slope of 9% (H1m).

Image:

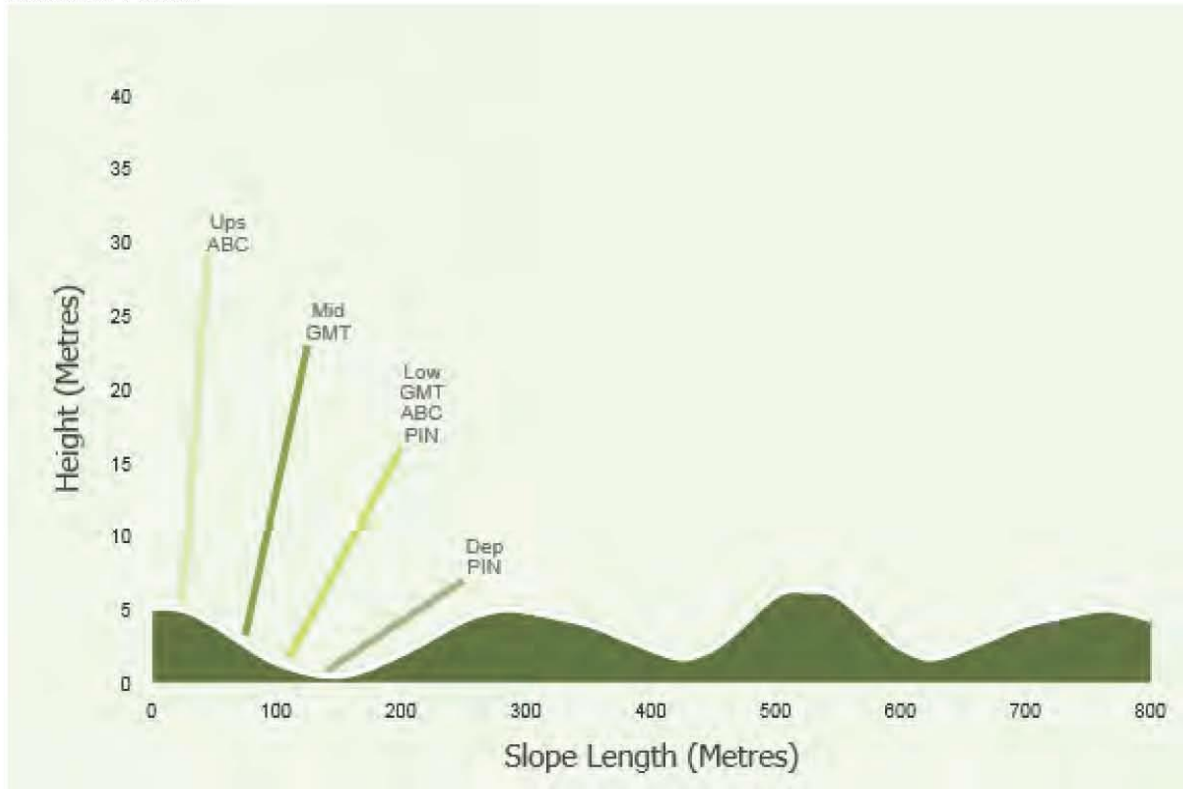


Landform Model:

-  UPS
-  MID
-  LOW
-  DEP



Landform Profile:



Fish and Wildlife Internet Mapping Tool (FWIMT)

(source database: Fish and Wildlife Management Information System (FWMIS))

Species Summary Report

Report Created: 24-Jan-2019 09:24

Species present within the current extent :

Fish Inventory	Wildlife Inventory	Stocked Inventory
	No Species Found in Search Extent	No Species Found in Search Extent

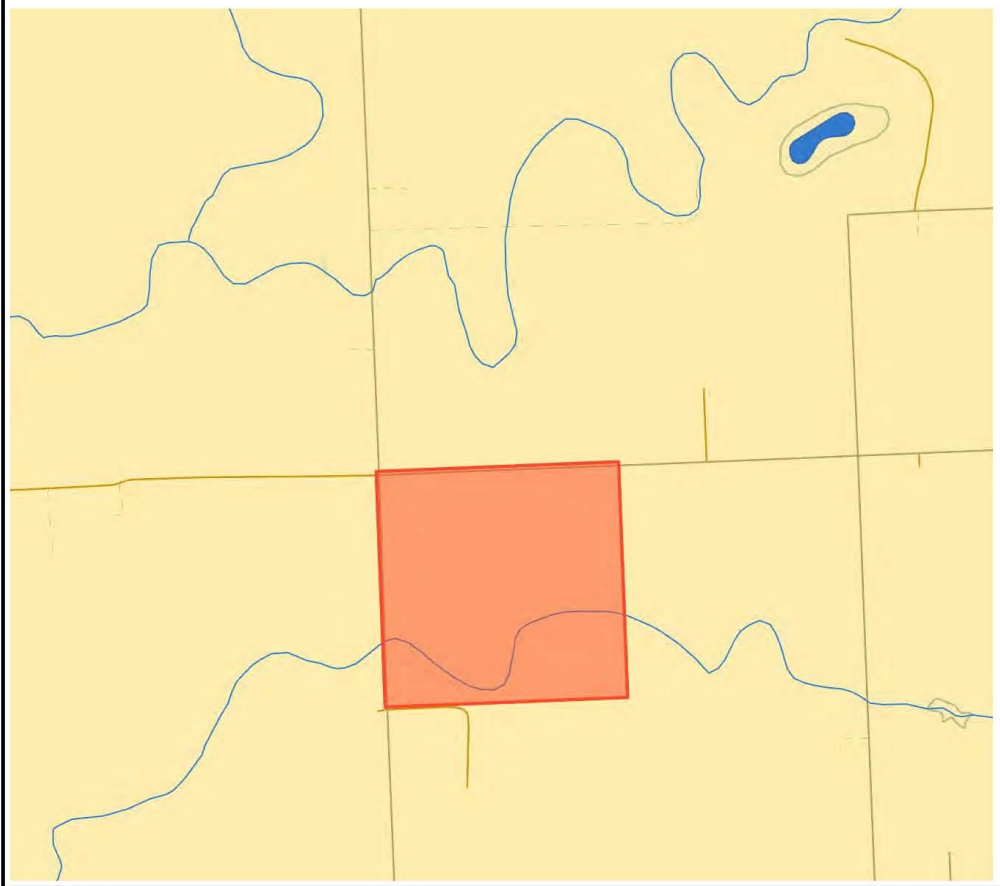
Buffer Extent

Centroid (X,Y):	Projection	Centroid: (Qtr Sec Twp Rng Mer)	Radius or Dimensions
681380, 6003605	10-TM AEP Forest	SW 8 60 15 4	3 kilometers

Contact Information

For contact information, please visit:

<http://aep.alberta.ca/about-us/contact-us/fisheries-wildlife-management-area-contacts.aspx>



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Summary of Results Print Results

07/2018

Requestor: Environmental Organization

Request for Request: Environmental Assessment

TWP: 060 RGE: 15 MER: 4



Sensitive EOs: 0 (Data Updated: October 2017)

T-SS	EO_ID	ECODE	S_RANK	SNAME	SCOMNAME	LAST_OBS_D
------	-------	-------	--------	-------	----------	------------

Sensitive EOs Found: Next Steps - [See FAQ](#)

Prohibited EOs: 0 (Data Updated: October 2017)

T	EO_ID	ECODE	S_RANK	SNAME	SCOMNAME	LAST_OBS_D
---	-------	-------	--------	-------	----------	------------

Prohibited EOs Found: Next Steps - [See FAQ](#)

Protected Areas: 0 (Data Updated: October 2017)

T-SS	PROTECTED AREA NAME	TYPE	IUCN
------	---------------------	------	------

Protected Areas Found

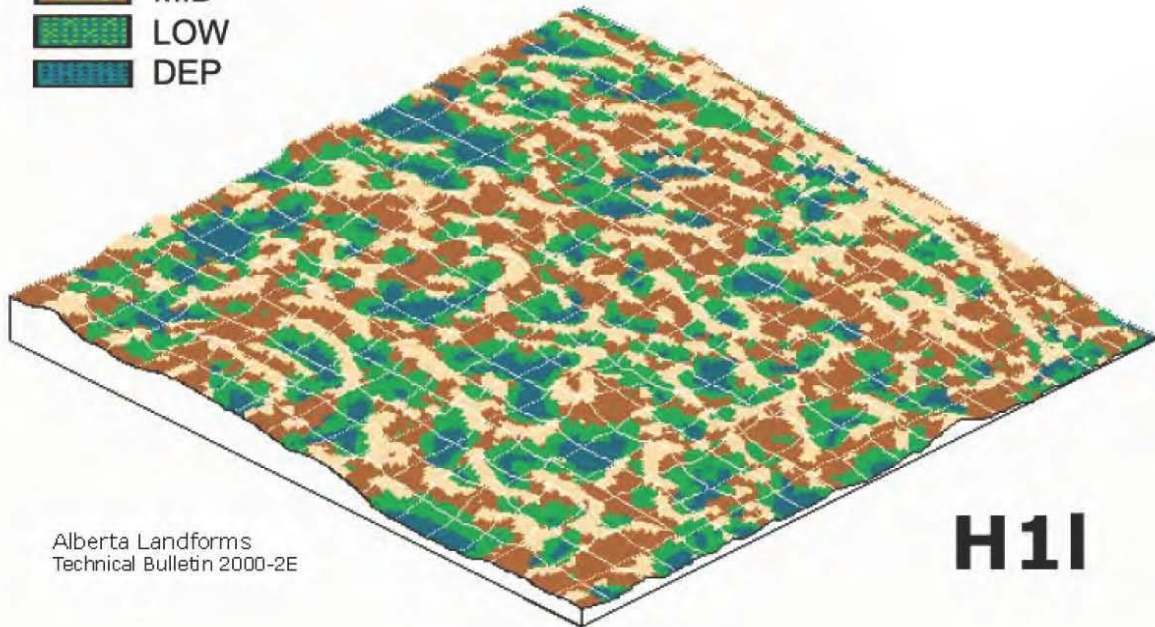
Reservations/Notations: 0 (Data Updated: October 2017)

T-SS	NAME	TYPE
------	------	------

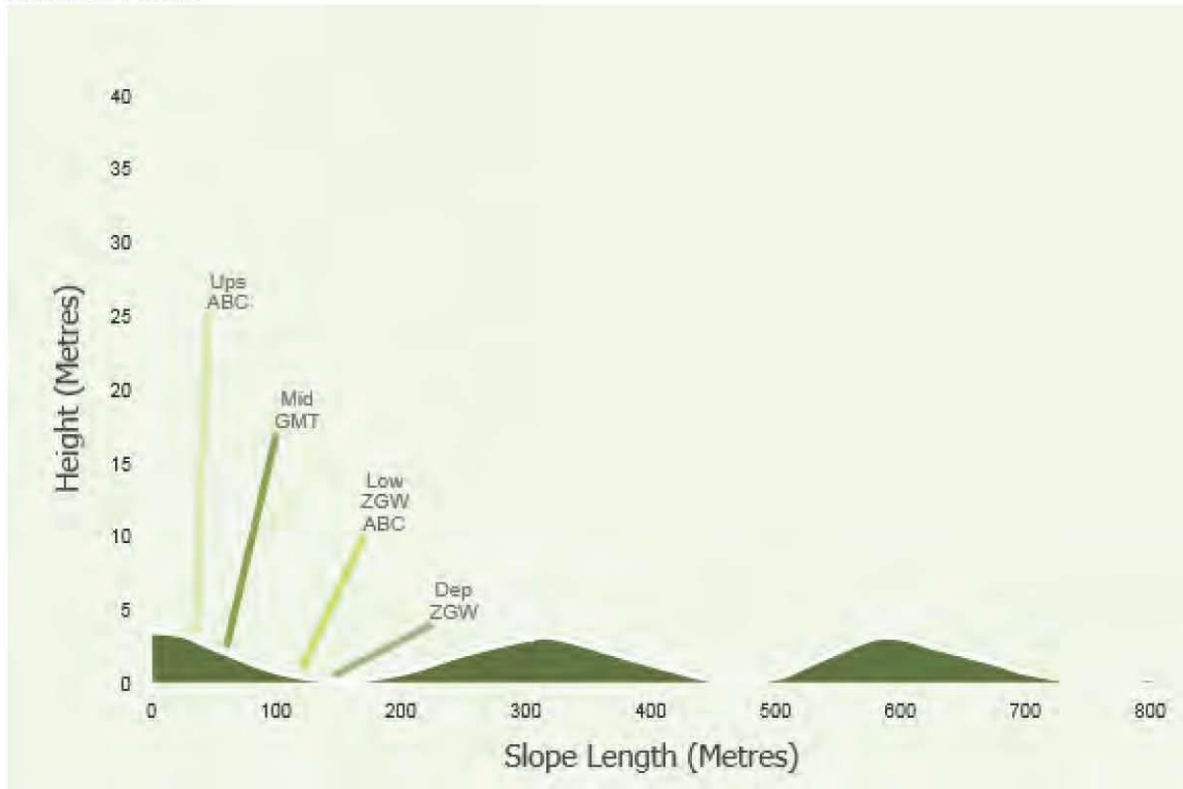
Reservations/Notations Found

Landform Model:

-  UPS
-  MID
-  LOW
-  DEP



Landform Profile:





Water Well Drilling Report

[View in Metric](#) [Export to Excel](#)

GIC Well ID: 280422
 GoA Well Tag No.
 Drilling Company Well ID
 Date Report Received

The driller supplies the data contained in this report. The Province disclaims responsibility for its accuracy. The information on this report will be retained in a public database.

GOWN ID

Well Identification and Location										Measurement in Imperial
Owner Name CAN GULF OIL CO		Address SMOKY LAKE			Town		Province		Country	Postal Code
Location	T/4 or LSD 16	SEC 6	TWP 60	RGE 1S	W of MER 4	Lot	Block	Plan	Additional Description	
Measured from Boundary of 30.00 ft from North 55.00 ft from East				GPS Coordinates in Decimal Degrees (NAD 83) Latitude 54.166051 Longitude -112.226392 How Location Obtained Field				Elevation 2172.00 ft How Elevation Obtained Estimated		

Drilling Information	
Method of Drilling Unknown	Type of Work Core Hole
Proposed Well Use Industrial	

Formation Log			Measurement in Imperial
Depth from ground level (ft)	Water Bearing	Lithology Description	

Yield Test Summary			Measurement in Imperial
Recommended Pump Rate			igpm
Test Date	Water Removal Rate (igpm)	Static Water Level (ft)	

Well Completion				Measurement in Imperial
Total Depth Drilled	Finished Well Depth	Start Date	End Date	
492.00 ft			1980/10/15	
Borehole				
Diameter (in)	From (ft)	To (ft)		
0.00	0.00	492.00		
Surface Casing (if applicable)		Well Casing/Liner		
Size OD :	0.00 in	Size OD :	0.00 in	
Wall Thickness :	0.000 in	Wall Thickness :	0.000 in	
Bottom at :	0.00 ft	Top at :	0.00 ft	
		Bottom at :	0.00 ft	
Perforations				
From (ft)	To (ft)	Diameter or Slot Width (in)	Slot Length (in)	Hole or Slot Interval (in)
Perforated by				
Annular Seal				
Placed from 0.00 ft to 0.00 ft				
Amount				
Other Seals				
Type		At (ft)		
Screen Type				
Size OD : 0.00 in				
From (ft)	To (ft)	Slot Size (in)		
Attachment				
Top Fittings		Bottom Fittings		
Pack				
Type		Grain Size		
Amount				

Contractor Certification	
Name of Journeyman responsible for drilling/construction of well UNKNOWN NA DRILLER	Certification No 1
Company Name UNKNOWN DRILLER	Copy of Well report provided to owner Date approval holder signed



Water Well Drilling Report

[View in Metric](#) [Export to Excel](#)

GIC Well ID: 280422
GoA Well Tag No.
Drilling Company Well ID
Date Report Received

The driller supplies the data contained in this report. The Province disclaims responsibility for its accuracy. The information on this report will be retained in a public database.

GOWN ID

Well Identification and Location										Measurement in Imperial	
Owner Name CAN GULF OIL CO		Address SMOKY LAKE			Town		Province		Country	Postal Code	
Location	T/4 or LSD 16	SEC 6	TWP 60	RGE 1S	W of MER 4	Lot	Block	Plan	Additional Description		
Measured from Boundary of 30.00 ft from North 55.00 ft from East				GPS Coordinates in Decimal Degrees (NAD 83) Latitude 54.166051 Longitude -112.226392 How Location Obtained Field				Elevation 2172.00 ft How Elevation Obtained Estimated			

Additional Information										Measurement in Imperial	
Distance From Top of Casing to Ground Level _____ in _____					Is Artesian Flow _____					Is Flow Control Installed _____	Describe _____
Rate _____ igpm					Recommended Pump Rate _____ igpm					Pump Installed _____	Depth _____ ft
Recommended Pump Intake Depth (From TOC) _____ ft					Type _____					Make _____	H.P. _____
Model (Output Rating) _____					Did you Encounter Saline Water (>4000 ppm TDS) _____					Depth _____ ft	Well Disinfected Upon Completion _____
Gas _____					Depth _____ ft					Geophysical Log Taken Electric	Submitted to ESRD Electric
Additional Comments on Well _____					Sample Collected for Potability _____					Submitted to ESRD _____	

Yield Test			Taken From Ground Level	Measurement in Imperial
Test Date _____	Start Time _____	Static Water Level _____ ft		
Method of Water Removal				
Type _____				
Removal Rate _____ igpm				
Depth Withdrawn From _____ ft				
If water removal period was < 2 hours, explain why _____				

Water Diverted for Drilling		
Water Source _____	Amount Taken _____ lg	Diversion Date & Time _____

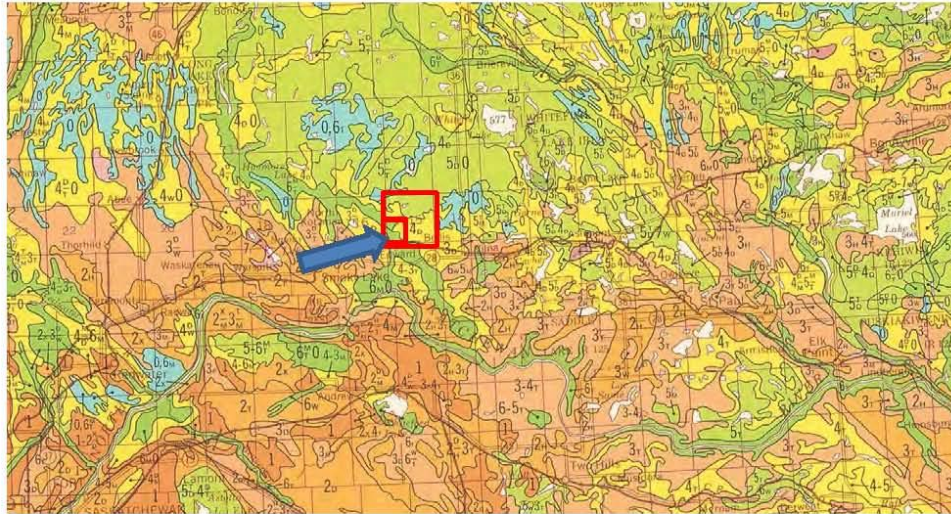
Contractor Certification	
Name of Journeyman responsible for drilling/construction of well UNKNOWN NA DRILLER	Certification No 1
Company Name UNKNOWN DRILLER	Copy of Well report provided to owner Date approval holder signed _____

Printed on 5/21/2019 3:12:51 PM

Page: 2 / 2

Danyluk Pit (Smoky Lake – SW 08-60-15)

Canada Land Inventory (CLI) - Soil Capability for Agriculture



□ Project Area

CLASSES	SUBCLASSES
<p>CLASS 1 SOILS IN THIS CLASS HAVE NO SIGNIFICANT LIMITATIONS TO USE FOR CROPS.</p>	<p>A – droughtiness or aridity as a result of climate</p>
<p>CLASS 2 SOILS IN THIS CLASS HAVE MODERATE LIMITATIONS THAT RESTRICT THE RANGE OF CROPS OR REQUIRE MODERATE CONSERVATION PRACTICES.</p>	<p>D – undesirable soil structure and or low permeability</p>
<p>CLASS 3 SOILS IN THIS CLASS HAVE MODERATELY SEVERE LIMITATIONS THAT RESTRICT THE RANGE OF CROPS OR REQUIRE SPECIAL CONSERVATION PRACTICES.</p>	<p>E – past damage from erosion</p>
<p>CLASS 4 SOILS IN THIS CLASS HAVE SEVERE LIMITATIONS THAT RESTRICT THE RANGE OF CROPS OR REQUIRE SPECIAL CONSERVATION PRACTICES, OR BOTH.</p>	<p>F – low natural fertility</p>
<p>CLASS 5 SOILS IN THIS CLASS HAVE VERY SEVERE LIMITATIONS THAT RESTRICT THEIR CAPABILITY TO PRODUCING PERENNIAL FORAGE CROPS, BUT IMPROVEMENT PRACTICES ARE FEASIBLE.</p>	<p>H – adverse climate as a result of cold temperatures</p>
<p>CLASS 6 SOILS IN THIS CLASS ARE CAPABLE OF PRODUCING PERENNIAL CROPS ONLY, AND IMPROVEMENT PRACTICES ARE NOT FEASIBLE.</p>	<p>I – periodic inundation by streams and lakes</p>
<p>CLASS 7 SOILS IN THIS CLASS HAVE NO CAPABILITY FOR CROPS USE OR PERMANENT PASTURE.</p>	<p>M – deficient soil moisture</p>
	<p>N – salinity</p>
	<p>P – stoniness</p>
	<p>R – shallowness to bedrock</p>
	<p>S – a combination of two or more of the subclasses D, E, M and N</p>
	<p>T – adverse relief because of steepness or pattern of slopes</p>
	<p>V – a pattern of wet (w) and moisture deficient (m) soils very intimately associated</p>
	<p>W – excessive soil moisture</p>
	<p>X – an accumulation of two or more adverse characteristics that individually would not affect the class rating.</p>



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0023 528 145 4;15;60;8;SW 042 035 264

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 15 TOWNSHIP 60
SECTION 8
QUARTER SOUTH WEST
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
EXCEPTING THEREOUT: 1.62 HECTARES (4 ACRES) MORE OR LESS
AS SHOWN ON ROAD PLAN 5890CL
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: SMOKY LAKE COUNTY

REFERENCE NUMBER: 822 116 156

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION	
042 035 264	22/01/2004	TRANSFER OF LAND	\$50,000	NIL	

OWNERS

LARRY M DANYLUK
AND
LORRAINE L DANYLUK
BOTH OF:
BOX 34
SMOKY LAKE
ALBERTA T0A 3C0
AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
762 014 722	26/01/1976	UTILITY RIGHT OF WAY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
042 035 264

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

GRANTEE - THE COUNTY OF SMOKY LAKE NO. 13.

022 374 285 03/10/2002 CAVEAT
RE : SURFACE LEASE UNDER 20 ACRES
CAVEATOR - CANADIAN NATURAL RESOURCES LIMITED.
BOX 6926, STATION "D"
CALGARY
ALBERTA T2P2G1
AGENT - BETTY YEE
(DATA UPDATED BY: CHANGE OF ADDRESS 072373048)
(DATA UPDATED BY: TRANSFER OF CAVEAT
082356927)

022 396 654 21/10/2002 CAVEAT
RE : RIGHT OF WAY AGREEMENT
CAVEATOR - CANADIAN NATURAL RESOURCES LIMITED.
BOX 6926, STATION "D"
CALGARY
ALBERTA T2P2G1
AGENT - BETTY YEE
(DATA UPDATED BY: CHANGE OF ADDRESS 072372777)
(DATA UPDATED BY: TRANSFER OF CAVEAT
082356928)

052 055 415 11/02/2005 MORTGAGE
MORTGAGEE - ALBERTA TREASURY BRANCHES.
SMOKY LAKE BRANCH, 50 WHEATLAND AVENUE, BOX 689
SMOKY LAKE
ALBERTA T0A3C0
ORIGINAL PRINCIPAL AMOUNT: \$56,000

082 328 739 07/08/2008 UTILITY RIGHT OF WAY
GRANTEE - ALTAGAS UTILITIES INC.

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 19 DAY OF
DECEMBER, 2017 AT 11:19 A.M.

ORDER NUMBER: 34265164

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

(CONTINUED)

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Landscape Analysis Tool (LAT) Report

Surface Material Lease

00000523D4

Page 1 of 15

LAT Number:	00000523D4	LAT Date:	2018-07-24	11:54:06
Project Name:	Danyluk Pit			
Project Description:				
Disposition Type:	SML	Surface Material Lease		
Purpose Type:	SRMT	Surface Materials		
Activity Type:	SRMT02SMLP	Gravel		

Responsibility of Applicants:

It is the applicant's responsibility to conduct a full review of the generated LAT Report, ensuring that you are aware and have a full understanding of the identified standards and conditions, and any additional limitations that may also be imposed by an approved higher level plan, reservation or notation or any other law or Order of the Province or the Government of Canada that may impact the placement, construction or operation of the proposed disposition, purpose and activity.

The applicant must assess if the proposed disposition, purpose and activity can meet the applicable standards, conditions and any limitations which will subsequently determine if the application can be submitted to the regulatory body. Applicants should complete a thorough review of regulatory and application processes including supporting procedural documents and the generated LAT Reports prior to making this determination.

Where the applicant chooses not to meet, or is not able to meet, one or more Approval Standards or higher level plans within the generated LAT Report as submitted as part of the application, or any affected reservations as identified within the land status report, the applicant is required to complete the appropriate mitigation as part of their supplement submission that addresses individually each of the items not being met.

The information provided within the LAT Tool is a spatial representation of features provided to the applicant for activity and land use planning. The accuracy of these layers varies depending on the resource value being represented. The regulatory body insists that site visits, wildlife surveys and groundtruthing efforts are completed to ensure that you, the applicant can meet the procedures detailed within the *Pre-Application Requirements for Formal Dispositions*, the identified approval standards, operating conditions and *Best Management Practices* as represented within the *Master Schedule of Standards and Conditions*.

Proximity to Watercourse/Waterbodies:

Applicants will ensure that standards or conditions for Watercourse/Waterbody features as identified within the generated LAT Report are followed. It is the responsibility of the applicant to ensure the identified setbacks and buffers are properly established through a pre-site assessment and maintained.

NOTE: Be aware that the submission of a LAT Report as part of an application submission does not infer approval of the activity. The standards and conditions identified within the LAT Report may be subject to change based on regulatory review.

Landscape Analysis Tool (LAT) Report

Surface Material Lease

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Base Features	
Green/White Area	White Area
Municipality	Smoky Lake County
FMA	
FMU	LO1
Provincial Grazing Reserve	
Rocky Mountain Forest Reserve	
PLUZ Areas	

Provincial Sanctuaries	
Wildlife Corridors	
Restricted Area	
Game Bird	Zone 1
Seasonal	

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Higher Level Plans	
Integrated Resource Plan (Local)	
Integrated Resource Plan (Subregional)	
Access Management Plan	
Landscape Management Plan	

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Surface Material Lease

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Additional Application Requirements

Wildlife Survey		DND Area	
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Historical Resources

HRV Rating	Category
------------	----------

Historic Resources Application Required: Yes

The proposed activity is in an area identified as having historic resource concerns; therefore, approval under the *Historic Resources Act* is required prior to the initiation of any land surface disturbance activities. The applicant must submit a Historic Resources Application through the Online Permitting and Clearance (OPaC) system (www.opac.alberta.ca).

Landscape Analysis Tool (LAT) Report

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Sensitive Features			
Wildlife and Other Sensitive Species			
	Intersected		Intersected
Burrowing Owl Range		Piping Plover Waterbodies	
Caribou Range		Sensitive Amphibians Ranges	
Colonial Nesting Birds		Sensitive Raptor Range	
Eastern Short-horned Lizard Range		Sensitive Snake Species Range	
Endangered and Threatened Plants Ranges		Sharp-tailed Grouse Leks and Buffer	
Greater Sage Grouse Range		Sharp-tailed Grouse Survey	
Greater Sage Grouse Leks and Buffer		Special Access Zone	
Grizzly Bear Zone		Swift Fox Range	
Key Wildlife and Biodiversity Areas		Trumpeter Swan Buffer	
Mountain Goat and Sheep Areas		Trumpeter Swan Waterbodies/Watercourse	
Ord's Kangaroo Rat Range			
Other Sensitive and Endangered Species			
Federal Orders:			
	Intersected		
Greater Sage Grouse			
Grassland and Parkland Natural Region:			
	Intersected		
Grassland and Parkland Natural Region			

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Alberta Township System (ATS) Land List

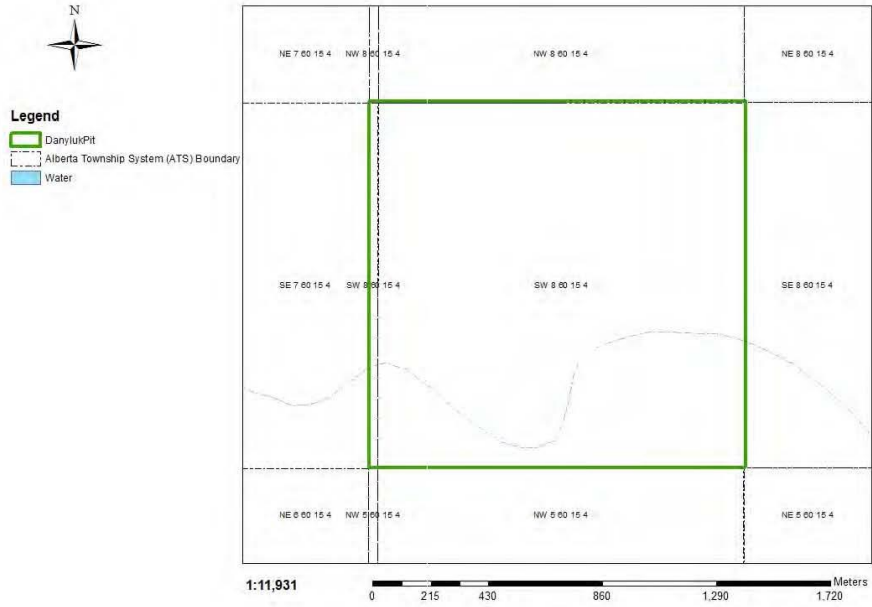
Quarter	Section	Township	Range	Meridian	Road Allow.	Sensitive Features Identified
NE	8	60	15	4		
SE	8	60	15	4		
SW	8	60	15	4		
SW	8	60	15	4	RW	
NW	8	60	15	4	RW	
NW	8	60	15	4		

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Land Management		
Report ID	Approval	Condition
1	1011-AS	Incidental Activities as referenced on the associated supplement that fall within the sizing parameters, as defined within the PLAR Approvals and Authorizations Administrative Procedure's as amended, identified at the time of application are subject to the conditions of the associated disposition and shall be available for use for a term of four years from date of disposition approval.
2	1013-AS	Where an Integrated Resource Plan or a Reservation/Protective Notation identifies a greater set back, the greater set back shall prevail.
3	1014-AS	Additional applications for access will not be permitted if access under disposition already exists.
4	1015-AS	Where a Higher Level Plan exists, the direction provided within that plan shall be followed.
5	1017-AS	For activities that fall within any Protective Notation (PNT) lands with a purpose code 400 Series encompassing a section of land (259 hectares) or less, located in the Provincial White Area (i.e., Provincial settled lands), all construction activities shall be built and occur within lands developed as range improvement. Where no range improvement exists, activities shall occur within 100 metres of the perimeter (i.e., outside boundary), with the following exceptions: • pipeline construction activities
6	1023	The disposition holder shall repair or replace any identified improvements (e.g., fences, water control structures, and signage) that were damaged as a result of industry activities on the land to pre-existing condition within 30 days of entry or immediately if occupied by livestock.
7	1024	The disposition holder shall maintain all activities for proper drainage of surface water.
8	1026	For activities that occur on Canadian Forces Bases, the disposition holder shall coordinate all activities through Energy Industry Control at (780) 842-5850 for activity on Canadian Forces Base/Area Support Unit, Wainwright, and (780) 573-7206 for activity on Canadian Forces Base/Area Support Unit, Cold Lake.
9	1028	The disposition holder shall comply with all requirements and direction as defined within the Pre-Application Requirements for Formal Dispositions as amended.
10	1030	The disposition holder shall not cause surface disturbance in coulees or through river benchland areas-excluding access, pipelines and linear easements crossing the watercourse feature..
11	1032	In addition to complying with Federal, provincial and local laws and regulations respecting the environment, including release of substances, the disposition holder shall, to the regulatory body's satisfaction, take necessary precautions to prevent contamination of land, water bodies and the air with particulate and gaseous matter, which, in the opinion of the regulatory body in its sole discretion, is or may be harmful.

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12	1033	The disposition holder shall remove all garbage and waste material from this site to the satisfaction of the regulatory body, in its sole discretion.
13	1037	Entry is not allowed within the boundaries of any research or sample plot.
14	1038	When planned activities cross designated or recreation trail(s) or when operations encroach on those trail(s), the disposition holder shall ensure that: <ul style="list-style-type: none"> • Lines crossing trail(s) are constructed in a manner that will not remove snow from the trail(s), produce ruts in the trail(s), or otherwise adversely affect travel. • No mechanical equipment is permitted to travel along the trail(s), unless approved in writing by an officer of the regulatory body. • Warning signs are posted along trail(s) during construction and reclamation activities advising trail users of the upcoming crossing location. • Any recording devices or equipment laid along the trail(s) are placed off of the travel portion so that the geophones do not interfere with travel.
15	1046	Where a Wildfire Prevention Plan and/or FireSmart Plan is required for review and approval by the Wildfire Management Branch, the disposition holder shall ensure any proposed clearing on public land has been agreed to by the regulatory body.

Vegetation

Report ID	Approval	Condition
16	1101	Manage all weeds as per the Weed Control Act.
17	1105	Chemical application for the purpose of vegetation control, shall occur in accordance with the Pesticide Regulation and Environmental Code of Practice for Pesticides.
18	1106	The disposition holder shall salvage all merchantable timber and haul to the location of end use unless a request for waiver is approved under the Forests Act.
19	1107	The disposition holder shall salvage timber according to the utilization standards for the overlapping timber disposition(s) (i.e., FMA, CTL, DTL) or, where no overlapping timber disposition exists, as per the approved forest management plan.
20	1108	The disposition holder must slash, limb and buck flat to the ground all woody debris and leaning trees created by the activity. The length of slashed woody debris shall not exceed 2.4 metres.
21	1109	On forested lands, the disposition holder shall dispose of excess coarse woody debris remaining after rollback or stockpiling for interim/final reclamation.
22	1110	The disposition holder shall dispose of coarse woody debris within FireSmart Community Zones by burning unless a Debris Management Plan has been approved under the Forest and Prairie Protection Act.
23	1112	The disposition holder shall not allow timber storage piles or windrows to encroach into standing timber.

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Soil		
Report ID	Approval	Condition
24	1130-AS	Permafrost degradation is not permitted. Onsite permafrost depth must be maintained to the same depth as offsite control.
25	1131-AS	In permafrost areas, surface stripping shall not occur.
26	1133	The Disposition holder shall suspend all activities during adverse ground conditions.
27	1134	The disposition holder shall prevent and control erosion (surface and subsurface) and sedimentation on all disturbed lands.
28	1135	The disposition holder must install and maintain erosion control measures (e.g., silt fences, matting, gravel, and check dams).
29	1136	The disposition holder shall not remove soil from the disposition unless authorized. This includes all soil horizons and all soil types (e.g. leaf litter, organic soils such as muskeg, and clay fill material are all included).
30	1137	The Disposition holder must not bury topsoil.
31	1138	Where soil disturbance occurs from site construction or linear trenching of a minimum of 12 inches or greater, the disposition holder must salvage all topsoil if present (topsoil includes the leaf litter layer (LFH) and the A horizon) as follows: <ul style="list-style-type: none"> • Where two-lift stripping occurs, topsoil and part or all of the upper subsoil (B horizon) must be stripped and stored separately. • Where topsoil is less than 15 centimetres, conservation shall include the topsoil plus part of the upper subsoil (B horizon) up to a total depth of 15 centimetres (unless the B horizon is considered chemically unsuitable as outlined in the May 2001 Salt Contamination Assessment Guidelines, as amended).
32	1139	The disposition holder shall store reclamation materials separately (topsoil, subsoil,) on the disposition, such that it can be distributed evenly over the disturbed area for progressive (interim) and/or final reclamation. LFH and coarse woody debris are suitable for storage with topsoil. Reclamation materials must not be buried.
33	1140	Wood chips shall not be mixed with forest floor and/or surface soil. It cannot be spread to a depth greater than 5 cm as defined in the directive ID 2009-01 Management of Wood Chips on Public Land.
34	1141	Storage piles/windrows of reclamation material shall not encroach into standing timber.
35	1142	Soil sterilants are prohibited.
36	1144	In permafrost areas, the disposition holder shall utilize snow (natural or man-made) to establish a level surface.

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Watercourse / Waterbody		
Report ID	Approval	Condition
37	1170-AS	Resource extraction activities on islands and the bed and shore of waterbodies and watercourses is prohibited.
38	1171-AS	The disposition holder shall not interrupt natural drainage (including ephemeral and fens), block water flow or alter the water table.
39	1173-AS	The disposition holder shall construct activities outside the appropriate watercourse setbacks, except for vehicle or pipeline crossings: a) Intermittent watercourses and springs shall have a setback of at least 45 metres from the top of the break. b) Small Permanent watercourses shall have a setback of at least 45 metres from the top of the break. c) Large Permanent watercourses shall have a setback of at least 100 metres from the top of the break.
40	1174-AS	The disposition holder shall maintain the following waterbody setbacks from the disposition edge for all site activities, or paralleling linear dispositions, or pipeline bore site: a) A minimum setback of 45 metres of undisturbed vegetation shall be maintained from non-permanent seasonal wetlands. b) A minimum setback of 100 metres from the bed and shore of semi-permanent and permanent ponds/wetlands, shallow open water ponds and lakes.
41	1179	The disposition holder shall not deposit or place debris, soil or other deleterious materials into or through any watercourse and/or waterbody, or on the ice of any watercourse and/or waterbody.
42	1184	Access (off-disposition) for water withdrawal requires an Approval or Authorization from the regulatory body.
43	1186	Where surface disturbance will occur and a risk of surface erosion exists, the disposition holder shall install and maintain sediment control structures to dissipate the flow of water and capture sediment prior to it entering a watercourse or waterbody.
44	1194	The disposition holder shall not remove or use water from dugouts, surface ponds, springs, or water wells within the grazing disposition unless an approval is issued from the Environment and Parks (GoA) agrologist.

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45	1196	<p>All licences, authorizations and approvals issued under the Alberta Environmental Protection and Enhancement Act, Water Act or Public Lands Act should not be taken to mean the proponent (applicant) has complied with federal legislation. Proponents should contact Habitat Management, Fisheries and Oceans in relation to the application of federal laws relating to the Fisheries Act (Canada).</p> <p>Fisheries Protection Program, Fisheries and Oceans Canada 867 Lakeshore Road, Burlington, Ontario, L7R 4A6 Telephone: 1-855-852-8320 Email: Fisheriesprotection@dfo-mpo.gc.ca Web address: www.dfo-mpo.gc.ca</p> <p>Proponents should also contact the Navigation Protection Program, Canadian Coast Guard, 4253-97 Street, Edmonton, Alberta, T6E 5Y7, phone: (780) 495-4220, relating to the Navigation Protection Act.</p>
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Reclamation

Report ID	Approval	Condition
46	1202	<p>The disposition holder shall utilize natural recovery, on all native landscapes (forested, wetlands, riparian, and peatlands) for all areas of the site, not required for operations or padded with clay. Natural recovery is to be implemented within 1 growing season of completions (post-drill) or for sites that are not drilled within 1 growing season of construction.</p> <p>Assisted natural recovery is allowed on high erosion sites, sites prone to weeds, agronomic invasion, or padded sites (forested and peatland).</p> <p>a) During assisted natural recovery when reseeding with herbaceous seed native to the Natural Subregion or agronomic annuals and seed mixes as approved by the regulatory body, shall be free of the species listed in the Weed Control Act. A seed certificate (under the rules and regulation of the Canada Seeds Act) for each species shall be provided to the regulatory body upon request.</p> <p>b) Assisted natural recovery can be used for planting woody species for the purpose of accelerated reclamation. The woody species must be native to the Natural Subregion and follow the Alberta Forest Genetic Resource Management and Conservation Standards as amended.</p>
47	1203	<p>The disposition holder shall when seeding pasture or cultivated lands, use agronomic or forage seed that meets or exceeds Certified #1 as outlined in the Canada Seeds Act and Seeds Regulations. Seed mixes are to be free of species listed in the Weed Control Act. A seed certificate (under the rules and regulation of the Canada Seeds Act) for each species shall be provided to the regulatory body upon request.</p>
48	1204	<p>Revegetation with trees or shrubs within the Green Area shall be consistent with the Alberta Forest Genetic Resource Management and Conservation Standards document.</p>
49	1206	<p>Coarse woody debris that is stored for final reclamation for greater than 12 months must be mixed with the top soil (LFH/Ae).</p>
50	1207	<p>Slash and rollback accumulations are not permitted within 5 meters of the perimeter of the disposition boundary greater than what is already occurring on the surrounding undisturbed forest floor.</p>

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51	1210	Upon cancellation and abandonment, the disposition holder shall contour the disturbed land to an acceptable land form using chemically suitable overburden and/or subsoil. The disposition holder shall replace topsoil and restore the natural drainage by removing any culverts and fills.
52	1211	Upon abandonment or as directed by the regulatory body, the disposition holder shall reclaim the disposition to the pre-disturbance land use (forested, grassland, cultivated, mineral wetland and peatlands) unless a change in land use is approved in writing by the regulatory body.
Wildlife		
Report ID	Approval	Condition
53	1280	The disposition holder is required to conduct a wildlife sweep of the immediate area (site plus 100 metres) prior to entry and construction to identify wildlife features. All observations must be reported to the regional AEP Wildlife Biologist, the issuing regulatory body, and entered into the Fisheries and Wildlife Management Information System (FWMIS).
54	1281-AS	Where the presence of an important wildlife feature including: mineral licks, raptor nests, active den sites, and hibernacula, is known or identified through a Wildlife Sweep, the disposition holder shall leave a buffer zone of a minimum width of 100m undisturbed vegetation, where an established buffer does not already exist (e.g. Species at Risk). If species are identified during the wildlife sweep, the disposition holder must produce the Wildlife Sweep to the regulatory body for review before continuing with the approved activity. Results from Wildlife Sweeps must be provided to the regulatory body upon request.
55	1286	All licences, authorizations and approvals issued under the Alberta Environmental Protection and Enhancement Act, Water Act or Public Lands Act should not be taken to mean the proponent (applicant) has complied with federal legislation. Proponents should contact Environment Canada, Canadian Wildlife Service in relation to the application of federal laws relating to the Migratory Birds Convention Act (protection of eggs and nests) and the Species at Risk Act. Environmental Stewardship Branch Prairie & Northern Region Environment Canada Eastgate Offices, 9250 – 49th Street Edmonton, Alberta T6B 1K5 Telephone: 1-780-951-8600 Email: Enviroinfo@ec.gc.ca Web address: http://www.ec.gc.ca/paom-itmb/default.asp?lang=En&n=AB36A082-1 Web address: http://www.sararegistry.gc.ca/
Surface Materials		
Report ID	Approval	Condition
56	1560	Before commencing any work on the land, the Disposition holder shall submit a detailed operating plan for the director's approval and shall pay the security deposit.

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57	1561	The Disposition holder shall pay the royalties, specified by the Regulation in force at the time the surface materials are removed, taxes and other charges that may be assessed against the land.
58	1562	The Disposition holder shall keep and maintain complete and accurate books and records of a type and form satisfactory to the director showing the quantity of surface materials removed from the land.
59	1563	The Disposition holder shall file a return with the Department within thirty days of the end of each twelve month period of the term and at any other time as the director may request in writing.
60	1564	The Disposition holder shall pay a penalty of \$25.00 for neglecting to file a return on time in accordance with this disposition, in addition to all other payments he is obliged to make under the terms hereof or under the Regulation.
61	1565	The Disposition holder shall submit his books and records for audit, pursuant to Section 118 of the Regulation, to an Officer of the Department identified by the director.
62	1566	In the course of carrying on the operations on the land, the Disposition holder shall keep and preserve the pits and works from all avoidable environmental damage and shall, at the cancellation or termination of the disposition, deliver possession of the land to the Department in a satisfactory condition.
63	1567	The Minister may, by order, authorize the Minister of Infrastructure, the Minister of Transportation or any other person to enter the land under a disposition and remove surface material required for the construction or maintenance of public roads or other public works
64	1568	The annual return shall report the quantity and kind of surface material removed during the preceding twelve-month period. The quantity of peat removed shall be expressed as the cubic content of the compressed product prepared for market.
65	1570	Provided that the disposition holder establishes to the satisfaction of the regulatory body that the surface materials removed under this authority were supplied free of charge and used by the Government of Alberta or used in the construction or maintenance of a public work owned by the province or a municipality in Alberta, no royalty is payable. To qualify for royalty exemption, it is the responsibility of the holder to provide documented proof that the surface materials were used for construction and maintenance of a public work.
66	1575	The disposition holder must maintain all records on pre numbered invoices, bills of lading, truckers tickets or other documents, which accurately show the name and address of the receiver of the materials removed (clay, marl, sand, gravel, topsoil or peat), the number of cubic yards or cubic metres removed or being hauled and the legal description of the pit from which the material was removed.

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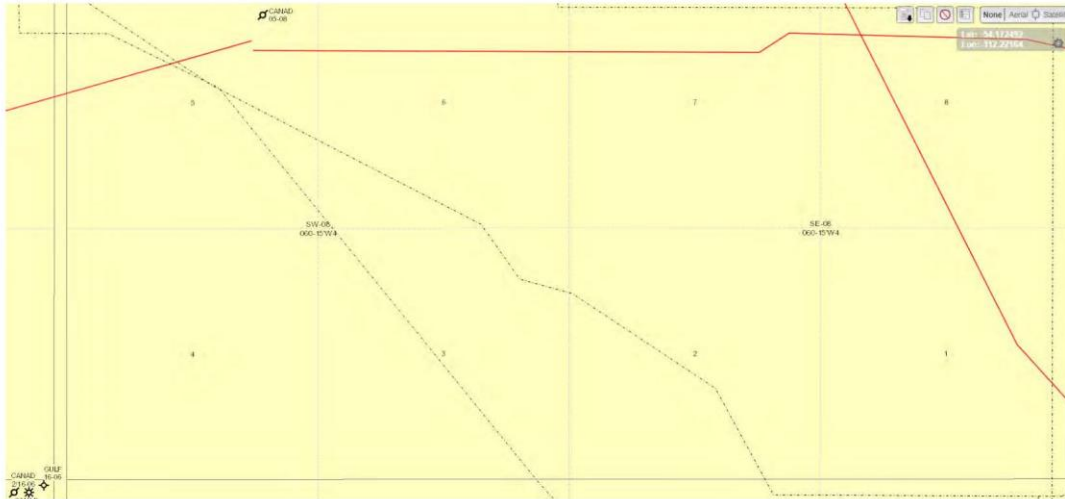
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67	1576	The disposition holder shall provide to the regulatory body within 30 days after the expiry of this formal disposition or within 30 days after completion of removal of the quantities of surface material specified in this formal disposition, whichever occurs first, an affidavit on the prescribed form stating the quantity of surface material removed from the land during the term of this formal disposition.
68	1577	Where a subdivision is being constructed and the developer who is constructing the subdivision is not a municipality or the Crown, and the developer is required by agreement with the Municipal Authority to provide roads at his expense, such projects do not qualify for waiver of royalty as a public work. However, royalty would be waived in instances where the municipality or the Crown is the developer or for materials utilized for maintenance of roads after they are turned over to the municipality.
69	1578	The disposition holder must submit an annual operating plan to the regulatory body on or before December 31.
70	1579	The disposition holder shall provide to the regulatory body an updated Conservation and Reclamation Plan within 6 months of disposition renewal and prior to the approval of any additional operating area.
71	1580	The disposition holder shall conduct its operations or activities and reclaim any disturbed land in accordance with the most recent and regulatory approved Conservation and Reclamation Business Plan that forms part of this authority.
72	1581	The disposition holder must commence operations on the site within three years of the date of the approved Conservation Reclamation Business Plan. Failure to develop this activity within the specified time frame shall result in cancellation of the lease.
73	1582	This formal disposition is subject to cancellation or withdrawal of portions of land if development and production are not in accordance with the most recent and approved Conservation and Reclamation Business Plan.
74	1583	At any time during the term of the lease, and/or at assignment, cancellation or expiry of the lease, the regulatory body may require that a volumetric survey of the lease site be completed by the disposition holder in accordance with regulatory body standards for audit or assessment purposes. The cost of the survey is the sole responsibility of the holder.
75	1584	The disposition holder shall conduct its operations or activities and reclaim any disturbed land in accordance with the approved application supplement that forms part of this disposition authority.
76	1587	The disposition holder shall contact and advise the regulatory body: <ul style="list-style-type: none"> • at the completion of operations, and • upon abandonment of this activity.

Danyluk Pit location (SW 08 60 15)

AbaData map (search made 24.05.19)



AbaData AER Pipeline Report

AER LIC/LINE #	COMPANY NAME	LICENSE DATE	FROM LOCATION	TO LOCATION	LGTH (kms)	STS	SUB	H2S (mol/kmol)	OD (mm)	WT (mm)	MAT	TYPE	GRD	MOP (kpa)	JNT	INTL COAT	STRESS LEVEL (%)	ENV
12134 - 6	CANADIAN NATURAL RESOURCES LIMITED	JUL 25 1977	10-8-60-15W4 WE	11-4-60-15W4 PL	2.3	O	NG	0	88.9	3.18	S	5LX	X42	4140	W	U	20	
12134 - 9	CANADIAN NATURAL RESOURCES LIMITED	NOV 19 1979	11-18-60-15W4 BE	10-8-60-15W4 BE	2.9	A	NG	0	88.9	3.18	S	5LX	X42	0	W	U	0	
21216 - 43	CANADIAN NATURAL RESOURCES LIMITED	APR 30 2003	5-8-60-15W4 WE	5-9-60-15W4 CS	1.58	O	NG	0	114.3	3.2	S	Z245.1	3582	4960	W	U	25	
21216 - 49	CANADIAN NATURAL RESOURCES LIMITED	DEC 20 2007	6-7-60-15W4 BE	5-8-60-15W4 BE	1.48	A	NG	0	100	12	G	FPLP	155	0	M	U	0	
27510 - 2	CANADIAN NATURAL RESOURCES LIMITED	AUG 1 2002	16-6-60-15W4 WE	6-6-60-15W4 PL	1.12	O	NG	0	88.9	3.2	S	Z245.1	2901	3790	W	U	18	

FIELD
BELLIS
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BELLIS

ACR Pipeline Data Current to: May 07, 2019
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5/24/2019

AbaData2 Print - Low Pressure Pipeline Information



Low Pressure Pipeline Information

NATURAL GAS CO-OPERATIVE CONTACT INFORMATION

Data Current To January 1, 2018

Name:	Smoky Lake County		
Address:	PO Box 310 Smoky Lake, Alberta T0A 3C0		
Phone #:	(780) 656-3037	Fax #:	(780) 656-3768
Email:	vbilley@smokylakecounty.ab.ca		
Comments:	Alternate phone no. (780) 424-7103		



Low Pressure Pipeline Information

NATURAL GAS CO-OPERATIVE CONTACT INFORMATION

Data Current To January 1, 2018

Name:	Atagas Utilities Inc.		
Address:	5509 - 45 St Leduc, Alberta T9E 6T6		
Phone #:	(780) 986-5215	Fax #:	(780) 986-0919
Email:			
Comments:	Please fax all requests for pipeline plats.		

Land Use Bylaw No. 1272-14



Photo Credit: Mary Lou Doshewnek



Adopted: December 4, 2014

- a. location and position of structures on the site, including any "For Rent" or identification signs;
 - b. location and number of parking spaces, exits, entries and drives from public thoroughfares;
 - c. location of an access to garbage storage areas and incinerators and the fencing and landscaping of these facilities; and
 - d. landscape plan of the entire site which shall also show intended surfacing for drives and parking areas.
- B. The aforementioned plans will append the application and once approved shall be deemed conditions of approval. The Development Authority may require a performance bond from the developer if deemed necessary.
2. In the case of all buildings and relationship of the building to each other and the total relationship of the land on which they are constructed, in particular respect to such matters as architectural appearance, the provision of adequate light, air, privacy and landscaping shall be fully shown upon the site plans of the whole development, and all the foregoing shall be to the satisfaction of the Development Authority.

7.16 NATURAL RESOURCE EXTRACTION INDUSTRIES

1. In accordance with in **Sections 2.4** and **2.7** of this Bylaw, a development permit will be required for natural resource extraction developments including but not limited to: borrow pits, sand, gravel, clay, top soil, gypsum, granite, salt or any other mineral extraction operation.
2. A development permit shall not be issued for a sand, gravel, clay, coal, limestone, gypsum, granite, salt or a mineral extraction operation until any necessary reclamation plan and permit/license is approved by the Provincial Government.
3. Where not required to do so by Provincial agencies, the proponent of a natural resource extraction industry shall be required to submit a reclamation plan to the Development Authority for their approval prior to the issuance of a development permit.
4. Where not required to do so by the Province, the proponent of a natural resource extraction industry shall, at the discretion of the Development Authority, be required to post with the County security in the form of either, cash or an irrevocable letter of credit to ensure that reclamation will be completed.
5. A disturbed area shall be reclaimed to:
 - A. at least its former capability for agriculture; or
 - B. any other use which the Development Authority feels will be beneficial to the County.
6. The following conditions of approval may be included when processing an application for a natural resource extraction industry:

- A. limitation of hours of operation;
 - B. requirement to enter into a Road Use Agreement with the County for the provision of dust control and maintenance/upgrading of roads used in direct relation to the operation;
 - C. posting of adequate signage, including company name and emergency telephone numbers, to warn of possible site or operational hazards and dangers;
 - D. methods of minimizing noise in relation to the activities of the operation; and
 - E. payment of an aggregate levy to the County as outlined by the County's Community Aggregate Payment Levy bylaw.
7. Extraction operations, such as sand, gravel and other mineral resource workings shall be permitted to proceed only after the issuance of proper licenses that indicate compliance with the appropriate provincial and federal legislation and regulations.
 8. The County should not allow residential, commercial, or industrial development to occur on known commercial deposits of sand and gravel or other mineral resources if that development will prevent the future extraction of the resource.
 9. Council shall urge the provincial and federal agencies to comply with the policies of this section and the overall intent of the Plan when developing natural resource extraction activities that are exempt from control under the Municipal Government Act.
 10. Resource processing should be handled as a form of industrial development, and be subject to the industrial regulations contained in **Section 7.1** of this Bylaw.

7.17 PET KEEPING, LIVESTOCK AND KENNELS

1. The total number of domestic pets shall be in conformity with the County's Animal Control Bylaw.
2. **No animals** other than domestic pets shall be allowed:
 - A. on lots located within the Multi-lot Country Residential (R1) and Residential (Cluster) Conservation (R2) Districts, located within the Garner Lake, Mons Lake, Bonnie Lake, Whitefish Lake and/or Hanmore Lake Area Structure Plan Areas on parcels less than or equal to 2.03 ha (5.0 ac.) in area; and
 - B. on lots located within Hamlet General (HG) District on parcels less than or equal to 2.03 ha (5.0 ac.) in area.
3. Additional livestock units shall be allowed:
 - A. on lots located within the Multi-lot Country Residential (R1) and Residential (Cluster) Conservation (R2) Districts, located within the Garner Lake, Mons Lake, Bonnie Lake, Whitefish Lake and/or Hanmore Lake Area Structure Plan Areas on parcels greater than 2.03 ha (5.0 ac.) in area; and

Flávia Koch

From: Rhonda Alix <Rhonda.Alix@asperview.org>
Sent: Wednesday, May 22, 2019 1:12 PM
To: Flávia Koch
Subject: bus route - Smoky Lake

Good afternoon,

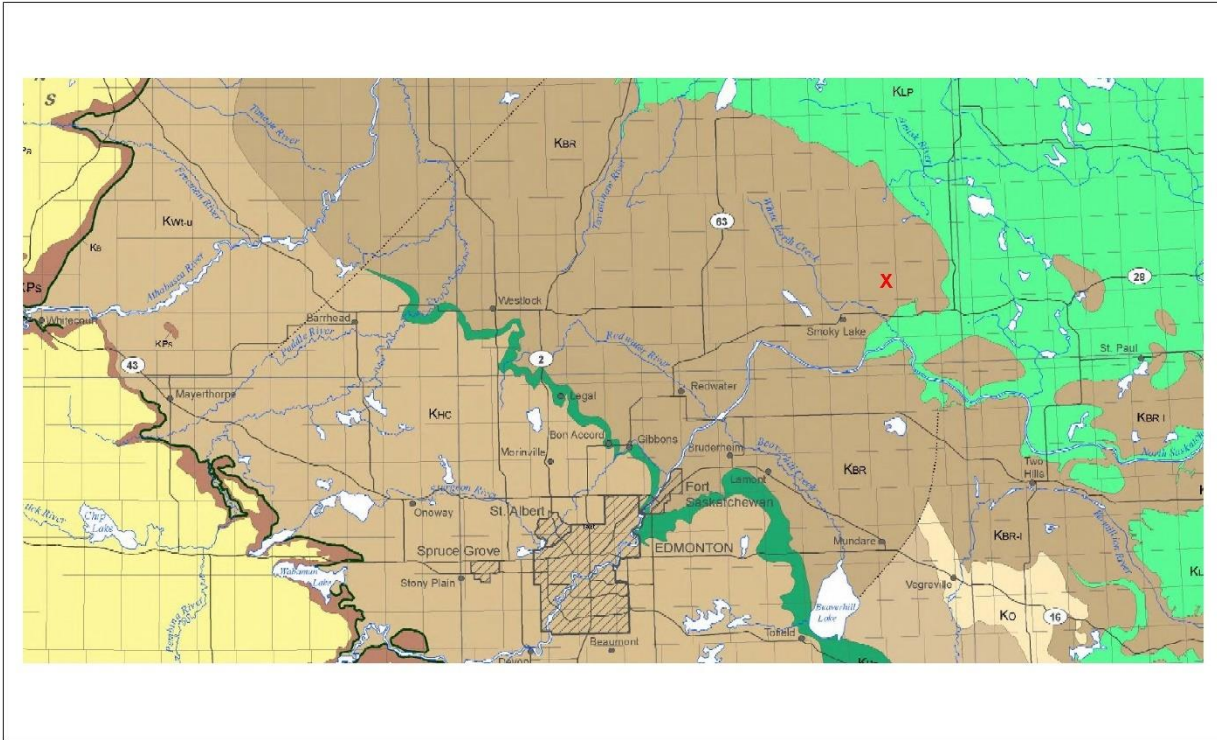
As per our telephone conversation our school bus route does go near SW 08 60 15 W4M.

Our school bus travels on Range Road 154 & 155 in between Township Road 600 and 601A.

Please let me know if you require any further information.

Thank you. Have a fantastic day.

Rhonda Alix
Transportation Coordinator
Aspen View Public Schools Division #78
1-780-675-7080 ext. 16



<p>Bedrock Geology - Belly River Group</p>	<p>Coordinate System: NAD 1983 UTM Zone 12V</p>	<p>Date: January 24 2019</p>		<p>Prepared by: Green Plan Ltd. ENVIRONMENTAL CONSULTING</p> <p>Prepared for: STONY VALLEY CONTRACTING</p>	<p>Legend</p> <p>X Location</p>
<p>Legal Land Location: SW 08-60-15 W4M Project Name: Danyluk Pit Project No. 2018.055</p>	<p>Source Layer Credits: David Wagner</p>	<p>Drawn by: Lindsey Howdle</p>			

AEP Authorization Viewer Search

Danyluk Pit (Smoky Lake, SW 08-60-15)

The screenshot shows the Alberta Energy Regulator's website interface. At the top left is the Alberta Energy Regulator logo, and at the top right is the Alberta Environment and Parks logo. Below the logos is a navigation bar with four tabs: "Authorization Viewer" (highlighted in orange), "Traditional Agriculture Registration Viewer", "Public Notices Viewer", and "Help".

The main content area is titled "Authorization Viewer - Search Results". Below this title is a section titled "The Search Used the Following Values:" which contains the following information:

Legal Land Location:	SW 08-060-15-W4
Act / Document Type:	Water Act, EPEA
Show Inactive Authorizations:	Yes

Below the search criteria, there is a note: "The resulting Authorizations based on the search criteria will be displayed below. A PDF icon will appear next to the Authorization when documentation is available for viewing or downloading. Please click [Viewer Help](#) if you encounter problems viewing the Authorization document."

Underneath the note, it says "1 Result(s)" and displays a single result in a table:

Document 00167515-00-00 SMOKY LAKE/REGISTRATION/DANYLUK LARRY - F00167515 is held by Larry Danyluk, under the provisions of the <i>Water Act</i> . This Registration is currently issued as of Feb. 13, 2003 and does not expire.

Search the Listing of Historic Resources

Search

Define Search Area(s) *Enter the legal description(s) you wish to search. Multiple Sections or LSDs must be separated by hyphens or commas.*

MER	RGE	TWP	Section(s)	LSD List
4	15	60	08	

Add Search Area Rows 1

Search Listing

Records found in search area

No records found.

APPENDIX 4

Prepared By



**Code of Practice for Pits
Registration Application (Schedule 1)**

Date: December 18, 2019

Previous *Environmental Protection and Enhancement Act* Approval Number: N/A

Water Act authorization required? Yes No

If Yes, application submitted or current *Water Act* Authorization Number: _____

Name of Applicant (company or person in whose name the pit will be registered):
Stony Valley Contracting Ltd.

Address: 245 Taiganova Crescent, Fort McMurray Alberta T9K 0T4

Phone: 780 743-0527 Facsimile: _____

e-mail: woodhouse@stonyvalley.ca

Name of Person Submitting Application: Grant Potolicki

Company Name: Green Plan Ltd.

Job Title: Senior Environmental Planner

Address: 18931 111 av Edmonton, Alberta T5S 2X4

Phone: 780 455-4292 Facsimile: _____

e-mail: potolick@green-plan.com

Signature: *Grant Potolicki*

Name of Primary Contact for Pit: Dean Zarundenec

Job Title: Project Manager

Address: #102, 10715 124st NW Edmonton, AB T5M 0H2

Phone: 780 718-2404 Facsimile: _____

e-mail: spiritpathhd@gmail.com

Pit Location Municipal Address or LSD-Sec-Twp-Rge-Mer	Registered Owners Name, Address and Phone Number	Occupants Name, Address and Phone Number
SW 08-060-15 W4M	Larry and Lorraine Daryluk Box 34, Smoky Lake Alberta T0A3C0	

Activities Plan (Schedule 2)

Part 1 Information

Aggregate Type (check off all that apply): Gravel Sand Clay Marl

Current Size of Pit – **32.5 ha**

Average Thickness (indicate metres or centimetres for each one): **3.5 m between sand and gravel**

Topsoil Texture (check all that apply):

organic soil mineral soil clay loam silty loam sand sandy loam
 loam clay silt other _____

Description of techniques to prevent wind and water erosion, and to limit the movement of dust from the pit – **Refer to Section 5.8.2 of the Activities Plan**

Participation in local or regional air monitoring initiative – **N/A**

Inactive pit conservation and reclamation techniques – **Refer to Section 5.10 and Section 5.5 of the Activities Plan**

Scale drawings and cross-sections of existing pit conditions and planned sequence of operation attached -

Part 2 Information

Maximum planned size of pit:

Depth to groundwater (metres) in test holes (indicate each depth if multiple holes) - **below 20 m**

Planned activities at the pit (check off all that apply): wet pit excavation
 concrete production mixing salt and aggregate mixing asphalt with aggregate
 spraying truck boxes aggregate washing use of alternative materials for reclamation

Mitigative measures for all of the above activities – **N/A**

Proposed land uses for reclaimed pit (check all appropriate boxes) - Section 9.0

cultivation **100%** hayland _____ pasture _____
 native range _____% grassland _____% forest _____%
 wildlife habitat _____% waterbody _____% proposed subdivision _____%
 other (specify) _____%

Pit water release (rationale for release, techniques and discharge points):

Refer to Section 5.8.1 of the Activities Plan

Average topsoil replacement depth (cm): **0.27 m**

Average subsoil replacement depth (cm): **0.37 m**

Scale drawings and cross-sections of reclaimed pit conditions attached. **YES**

Description of surface water bodies in the reclaimed pit: **N/A**

Intended use: **N/A**

Water elevation at full supply level: **N/A**

Slope of land one metre above full supply level: **N/A**

Slope of land one metre below full supply level: **N/A**

Signature and title of person who developed Activities Plan:

A handwritten signature in black ink that reads "Grant Potolicki". The signature is written in a cursive style and is centered within a light gray rectangular box.

Grant Potolicki

Senior Environmental Planner

COST OF RECLAMATION ESTIMATE FOR SECURITY ON PRIVATE LAND

NOTE: This cost estimate must be verified and accepted by the Director. Unusual situations may require a more detailed estimate. The security is not required with this application, but must be provided before a registration is issued.

APPLICANT: Stony Valley Contracting LAND LOCATION: SW 08-060-15 W4M

Please indicate what is required to ensure full cost of reclamation for this location:

- Mob/Demob Stockpile Removal Recontouring/Grading Decompaction Site/Vegetation Preparation Revegetation
 Fertilization Weed Management Facilities Removal (Buildings/Scales/Infrastructure) Other _____

GENERAL

1 Does this operation have a historical approval? YES NO If YES, Approval # _____

SECURITY SANCTIONED AT \$625.00 PER HA (\$250.00 PER ACRE) (pre 1993 ACTIVITIES)

2 Number of ha (acres) disturbed under an approval issued prior to September 1, 1993 (include pit area, processing area, stockpile sites and access roads)? N/A (A)

3 Security maintained at the above rate: (A) _____ x \$625 per ha (\$250 per acre) = \$ N/A (B)

COST OF RECLAMATION (ACTIVITIES from 1993 to present)

4 Costs associated with Mobilization/Demobilization = \$ 15,000.00 (C)
 Provide list of equipment utilized: _____

5 Number of ha (acres) intended to be disturbed over the life of the operation (max), including pre 1993 disturbance? 32.5 (D)

6 In addition to the area noted in item 2 (area A), how many ha (acres) have been and/or will be disturbed before reclamation can begin? Half of Phase 1 3.75 (E)

6 VOLUME/COST of REPLACING RECLAMATION MATERIALS (topsoil, subsoil, reject and overburden) that will be stockpiled before progressive reclamation can begin (based on area (E)):

- (a) Estimated topsoil stockpile volume: 10,125 cubic metres
- (b) Estimated subsoil stockpile volume: 13,875 cubic metres
- (c) Estimated reject/other stockpile volume: 5,435 cubic metres
- (d) Estimated overburden stockpile volume: 45,000 cubic metres
- TOTAL STOCKPILE VOLUME (TSV): 74,435 cubic metres

Equipment (list all) to be utilized: Crawler Tractor with Dozer-Group 6, Hydraulic Excavator - Group 15 at rate of \$ 2.50 /cubic metre

(e) Cost of replacing reclamation material: TSV 74,435 x \$ 2.50 per cubic metre = \$ 186,087.00 (F)

7. COSTS ASSOCIATED WITH: Removal of Stockpile/area, Bank removal, Grading and Decompaction of disturbance.

Estimated hours to remove stockpile area, bank removal and slope/grade the disturbance (E) 85 hours (G, e.g. G1+G2...)

Equipment to be used and hourly rate* Hydraulic Excavator - Group 15 at 261.00 /hour (G1)

Equipment to be used and hourly rate* Crawler Tractor with Dozer - Group 6 at 205.00 /hour (G2)

Estimated hours to grade, contour and decompact the disturbance (D-A) 80 hours (H)

Equipment to be used and hourly rate* Crawler Tractor with Dozer and Ripper attachment (add 25%) Group 6 at 256.25 /hour

- *Hourly Rates Based on most current Equipment Rental RATES GUIDE published by ARHCA, unless as supported by independent 3rd party cost estimate (selected from a minimum of 3 estimates)

Provide discussion on basis of equipment rates _____ as per equipment rentals Guide 2015

TOTAL COST TO RECLAIM: Stockpile area, grading/contouring and decompaction and rock picking: = Total \$ 60,110.00 ((G1+G2+...) + H)

8. Cost of Revegetation, Fertilization, Weed Control and Maintenance
Area Disturbed ((Area E) or as supported by activities plan): 3.75 ha
(h) Cost of revegetation, fertilization, weed control and maintaining the site: (Area) 3.75 x \$ 250.00 per ha = \$ 937.50 (I)

9. Costs associated with Facilities Removal (e.g. Buildings, scales, infrastructure) = \$ 5,000.00 (J)
Provide list of facilities/infrastructure: _____

10. SECURITY REQUIRED ESTIMATED COST OF RECLAMATION (C+F+G+H+I+J) = \$ 267,134.50 (K)


11. Cost of Contingency/Administration
Total Estimated Cost of Reclamation (K) 267,134.50
Estimated cost to execute contingency plan and administration/supervision** 10.0 % of total estimated cost of reclamation (L**)

** These costs represent, e.g., redesign, engineering, drawings, plans, supervision of work and unforeseen aspects (traditionally 10-15%)
Represent as whole value (e.g. 10% = 1.1, 15% = 1.5) for purposes of calculation and determining (M) value.
TOTAL COST OF SECURITY (K+L) 293,847.50 (M)

12. CURRENT/EXISTING SECURITY (if applicable) = \$ 0 (N)

13. TOTAL SECURITY BALANCE (M - N) = \$ 293,847.50

I certify that the information provided in this application is an accurate description of the site and of the operation and reclamation of the pit. I will conserve and reclaim the site as described in this application, follow the terms and conditions of the approval, and secure a Reclamation Certificate upon completion.

NAME Lorne Wendt (please print) SIGNATURE 
TITLE CFO DATE Dec 23/19

November 15, 2019

TO: Ministry of Parks and Environment in the Government of Alberta

RE: Class I Activities Plan Application for SW-08-60-15-W4M
Consent Granted to Stony Valley Contracting Ltd.

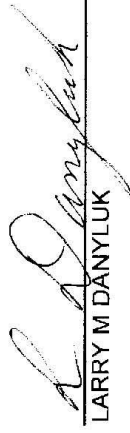
We hereby consent and authorize Stony Valley Contracting Ltd. as a lessee of the lands from the undersigned, to act as Applicant with respect to the Application for Class I Activities Plan, as prepared by Green Plan (Project 2018. 055) for the development of a proposed gravel pit on the above captioned lands.

We request you to consider this as a Class I Activities Plan Application authorization letter.

We understand and agree that the application for a Class I Activities Plan and any Class I Activities Plan issued pursuant to the application, or any information thereto, is not confidential information and may be released by Ministry of Parks and Environment in the Government of Alberta.

Dated this 15th day of November 2019

Per: 
LORRAINE L DANYLUK

Per: 
LARRY M DANYLUK

November 15, 2019

TO The County of Smoky Lake

RE: Development Permit Application for SW-08-60-15-W4M
Consent Granted to Stony Valley Contracting Ltd.


We hereby consent and authorize Stony Valley Contracting Ltd as a lessee of the lands from the undersigned, to act as Applicant with respect to the Application for Development Permit for the development of a proposed gravel pit on the above captioned lands.

We request you to consider this as a development permit application authorization letter.

We understand and agree that the application for a Development Permit and any Development Permit issued pursuant to the application, or any information thereo, is not confidential information and may be released by The County of Smoky Lake.

Dated this 15th day of November 2019

Per 
LORRAINE L DANYLUK

Per 
LARRY M DANYLUK



Attachment E: Historic Resources Act Approval



HRA Number: 4650-20-0037-001
April 28, 2020

Historical Resources Act Approval

Proponent: Stony Valley Contracting
245 Taiganova Crescent, Fort McMurray, AB T9K 0T4

Contact: Alex Glenen

Agent: Green Plan Ltd.
Contact: Flavia Koch

Project Name: Danyluk Pit

Project Components: Sand / Gravel Extraction

Application Purpose: Requesting HRA Approval / Requirements

Historical Resources Act approval is granted for the activities described in this application and its attached plan(s)/sketch(es) subject to Section 31, "a person who discovers an historic resource in the course of making an excavation for a purpose other than for the purpose of seeking historic resources shall forthwith notify the Minister of the discovery." The chance discovery of historical resources is to be reported to the contacts identified within [Standard Requirements under the Historical Resources Act: Reporting the Discovery of Historic Resources](#).

Martina Purdon
Manager, Regulatory Approvals
and Information Management
Alberta Culture, Multiculturalism
and Status of Women

Lands Affected: All New Lands

Proposed Development Area:

MER	RGE	TWP	SEC	LSD List
4	15	60	8	3-6

Documents Attached:

Document Name	Document Type
Site Development	Illustrative Material

APPENDIX C – GENERAL LOCATION MAP: SW 8-60-15-W4M

